

**COVERAGE CALCULATIONS**

**REQ'D/ALLOWED**

Max. Allowable Bldg Coverage =  
= 21,780 Sq. Ft. x 15% = 3267 SF

Max. Allowable Lot Coverage =  
= 21,780 Sq. Ft. x 25% = 5445 SF

**EXISTING**

Total Lot Area = 9167 Sq. Ft.  
Tidal Wetland Area = 0 Sq. Ft.  
Steep Slope Area = 0 Sq. Ft.  
Net Lot Area = 9167 Sq. Ft.  
Building Area = 1,914 + 58 = 1972 Sq. Ft. = 21.51%  
Driveway Area = 379 Sq. Ft.  
Total Lot Coverage = 2351 Sq. Ft. = 25.65 %

**PROPOSED**

Total Lot Area = 9167 Sq. Ft.  
Tidal Wetland Area = 0 Sq. Ft.  
Steep Slope Area = 0 Sq. Ft.  
Net Lot Area = 9167 Sq. Ft.  
Building Area = 1914 + 6 + 82 = 2002 Sq. Ft. = 21.84%  
Driveway Area = 758 Sq. Ft.  
Total Lot Coverage = 2760 Sq. Ft. = 30.11 %

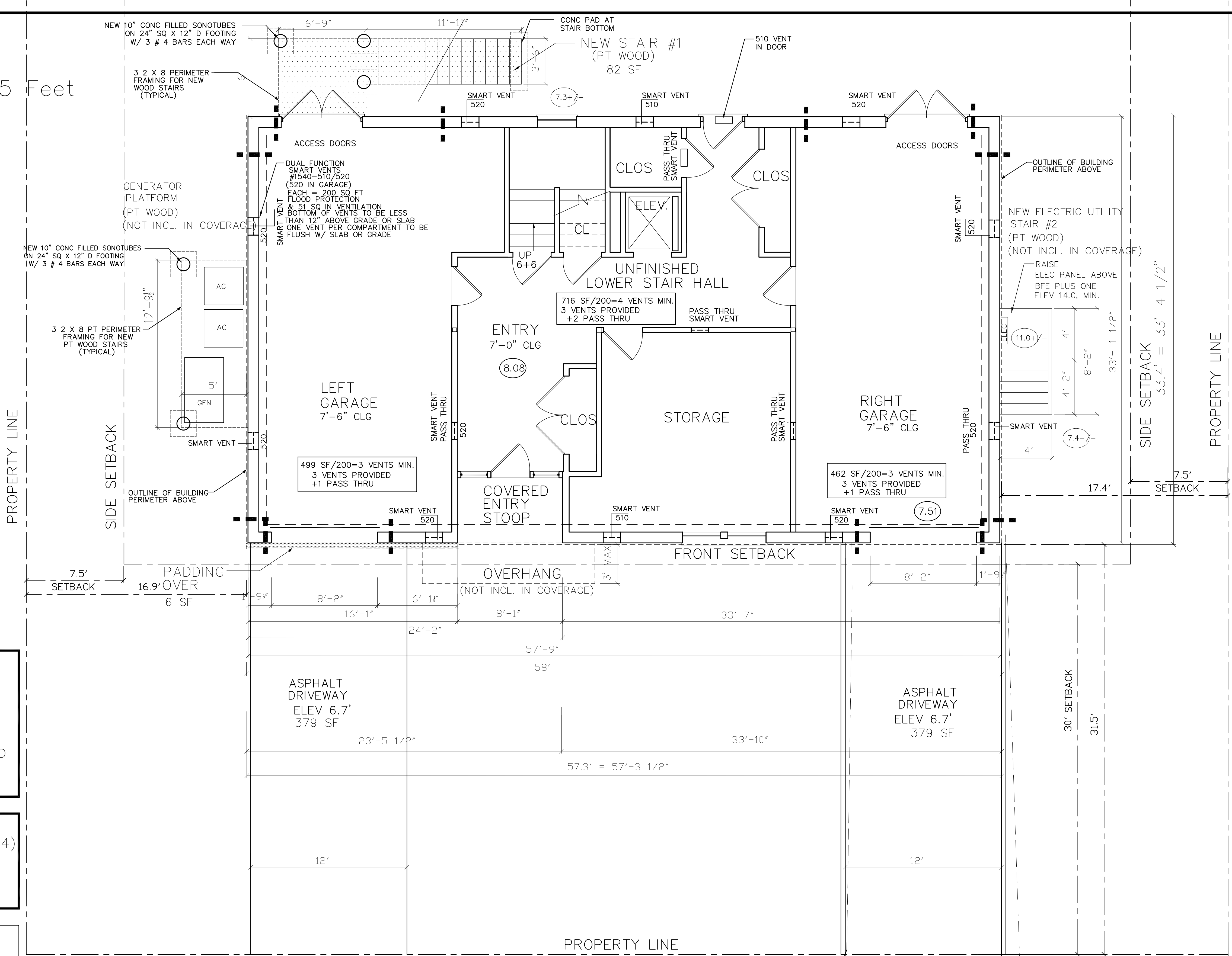
**HEIGHT INCREASE ALLOWED**

MAXIMUM HEIGHT INCREASE ALLOWED 5'-0"  
26 FT + 5.0 FT = 31.0 = 31'-0" MAXIMUM ALLOWED  
BASE FLOOD ELEV = 13.0'  
AVG GRADE ELEVATION = 7.3'  
DIFFERENTIAL = 5.7' > 5.0' SO 5.0' MAX. ALLOWED  
PROPOSED BUILDING HEIGHT = 31'-0"

BFE ELEV 13.0'  
CT BLDG CODE ELEV 14.0' (BFE 13+1= 14)  
PROPOSED 1ST FLOOR ELEV 16.0'  
EXISTING 1ST FL ELEV 8.08'  
HOUSE TO BE RAISED 7.92'

EXISTING BUILDING = 1914 SF  
NEW REAR STAIR #1 = + 82 SF  
PADDING AT FRONT ELEV = + 6 SF  
TOTAL BUILDING COVERAGE = 2002 SF  
(NEW ELEC UTILITY STAIR #2 - NOT INCL. IN COVERAGE)  
(NEW AC/GEN. PLATFORM - NOT INCL. IN COVERAGE)

TOTAL BUILDING COVERAGE = 2002 SF  
DRIVEWAY (2 X 379) = + 758 SF  
TOTAL LOT COVERAGE = 2760 SF



A  
A-1

**Proposed Lower Level Plan**

1891 GROSS SF - 41 STOOP = 1850 SF  
1850 SF - 563 LEFT GARAGE - 521 RIGHT GARAGE = 766 SF

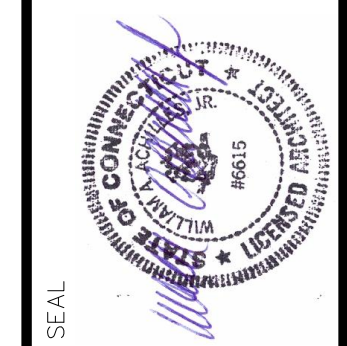
RAISE EXISTING RESIDENCE TO ELEVATIONS SHOWN  
EXTEND EXISTING FOUNDATIONS & CONSTRUCT NEW WOOD 1ST FL.  
CONSTRUCT NEW STAIRS.  
REPAIR AREAS DAMAGED BY LIFTING  
RAISE ANY GROUND HVAC EQUIPMENT ABOVE BFE  
RECONNECT UTILITIES

ALL MATERIALS BELOW ELEVATION  
BFE, TO BE MOISTURE RESISTANT.  
NO MECH. ELECT. OR PLUMBING  
SYSTEMS BELOW ELEV. BFE PLUS  
ONE (13 + 1 = 14 ELEV).

MARINE AVE

HOUSELIFT AND ADDITIONS TO:  
WHELAN RESIDENCE  
25 MARINE LANE  
WESTPORT, CT 06880

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1



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LOWER LEVEL PLAN

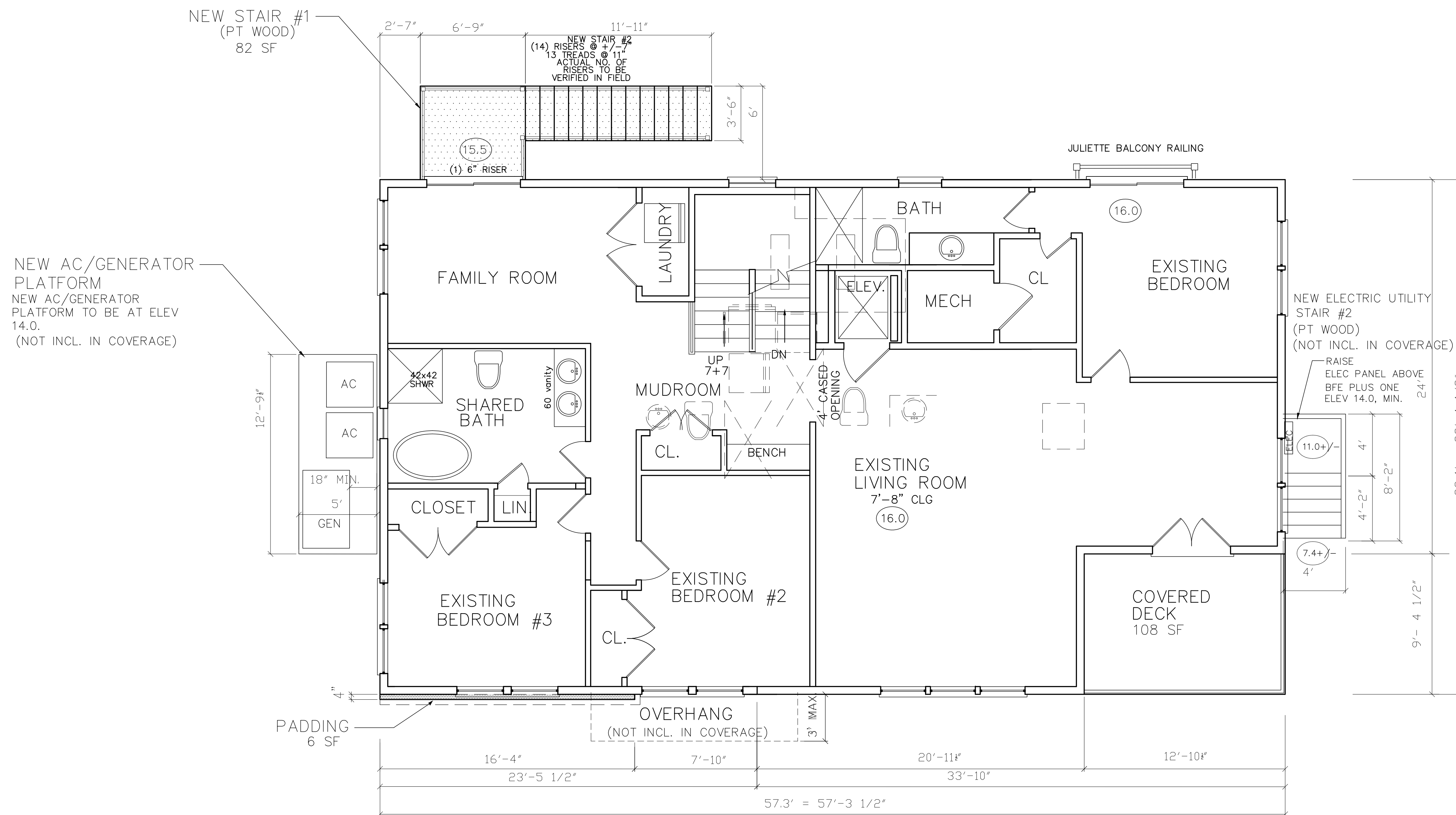
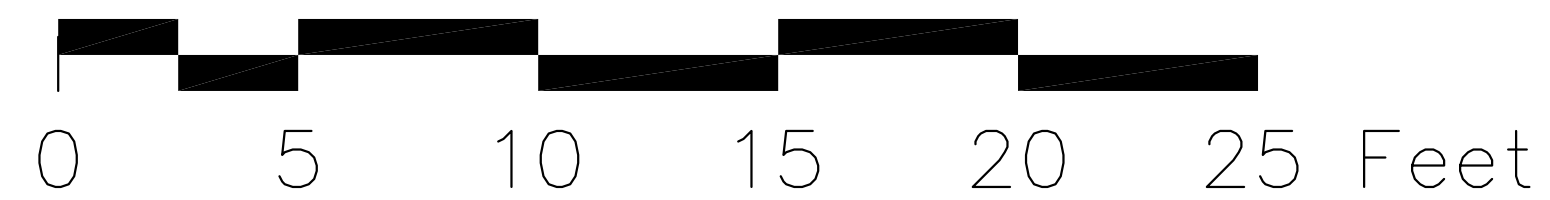
DATE 6-21-19

SCALE 1/4

JOB NO. 1610

SHEET NO.

A-1



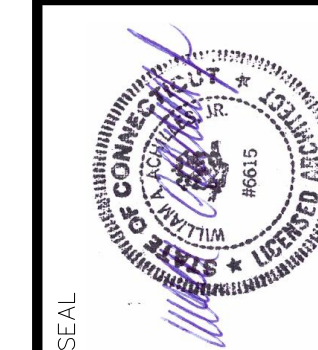
A  
A-2

### Proposed First Floor Plan

EXISTING BUILDING 1914 SF + 5 SF PADDING= 1919 SF - 108 SF COVERED DECK= 1811 SF

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DRAWING TITLE  
**PROPOSED  
FIRST FLOOR**

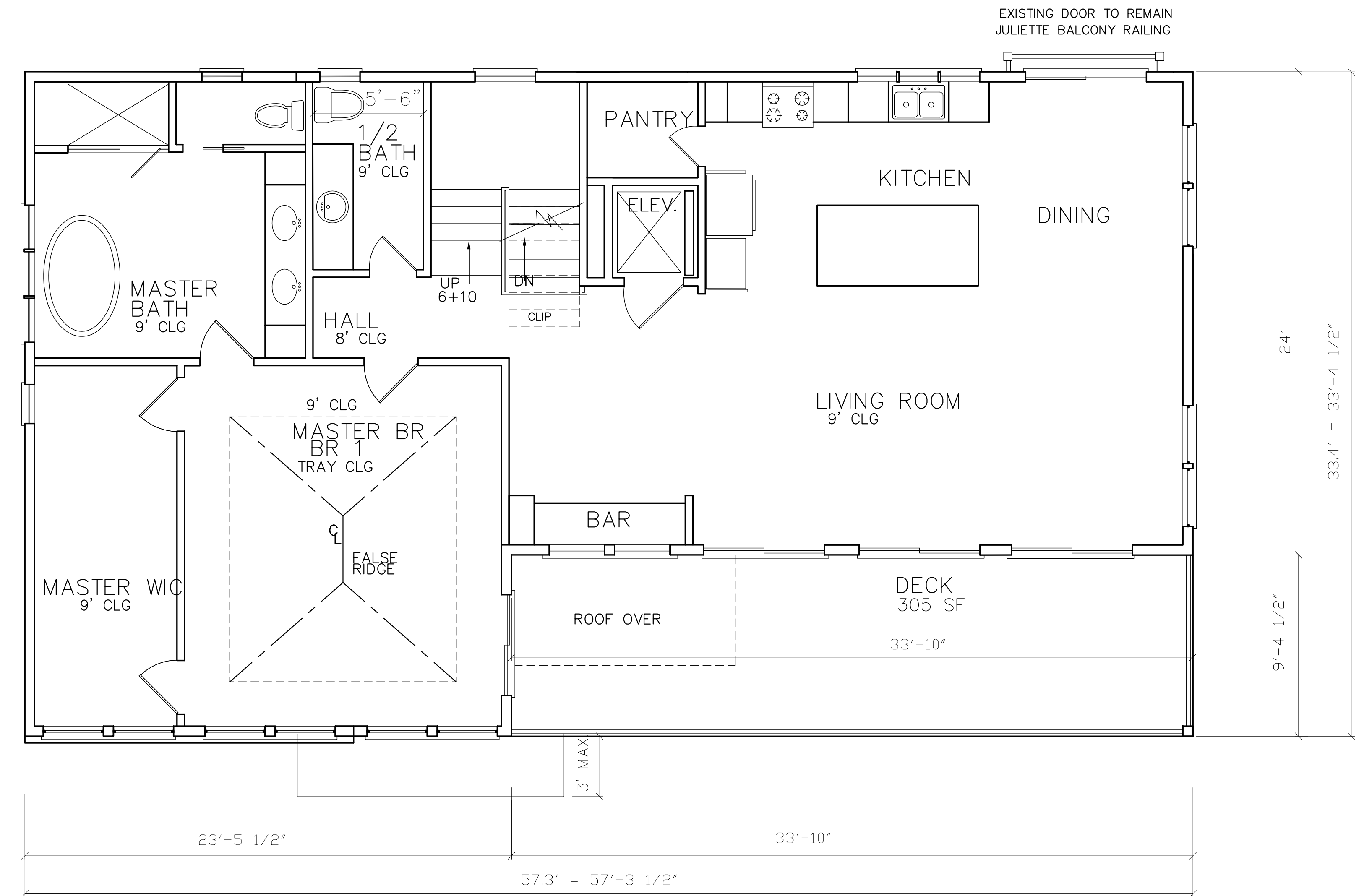
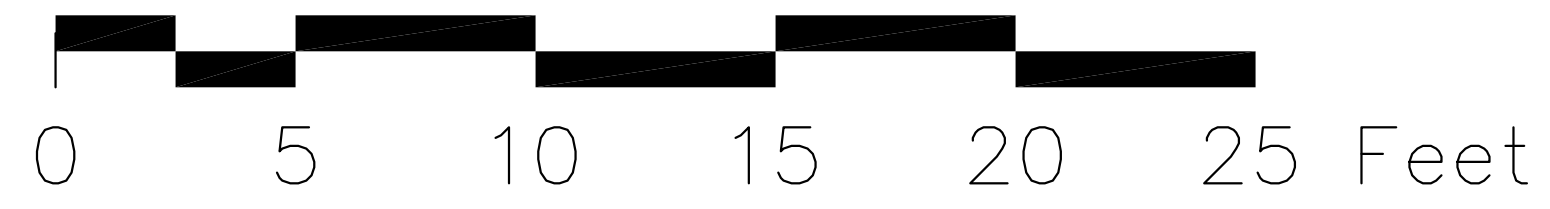
DATE  
6-21-19

SCALE  
1/4

JOB NO.  
1610

SHEET NO.

A-2



A  
A-3

## Proposed Second Floor Plan

EXISTING BUILDING 1914 SF - 305 SF DECK = 1609 SF

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DRAWING TITLE

PROPOSED  
2nd FLOOR  
PLAN

DATE

6-21-19

SCALE

1/4

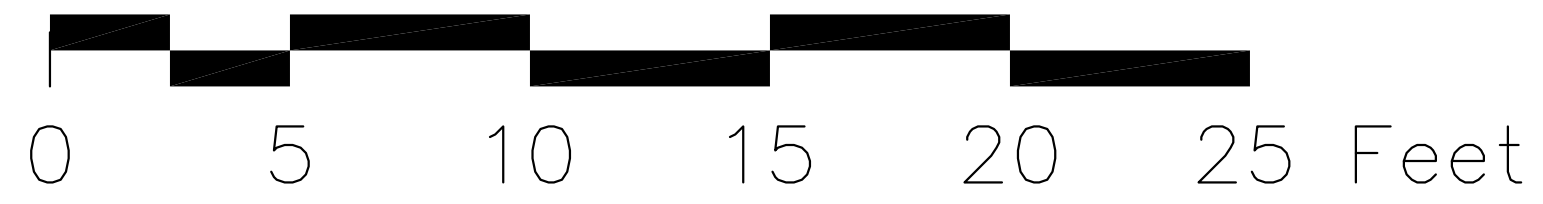
JOB NO.

1610

SHEET NO.

A-3





# ATTIC CALCULATIONS

REFER TO CALCULATIONS BELOW AND TO DWG A-7 FOR ADDITIONAL INFORMATION

ATTIC AS DEFINED BY ZONING

NET ATTIC FLOOR AREA = 835.39 SF

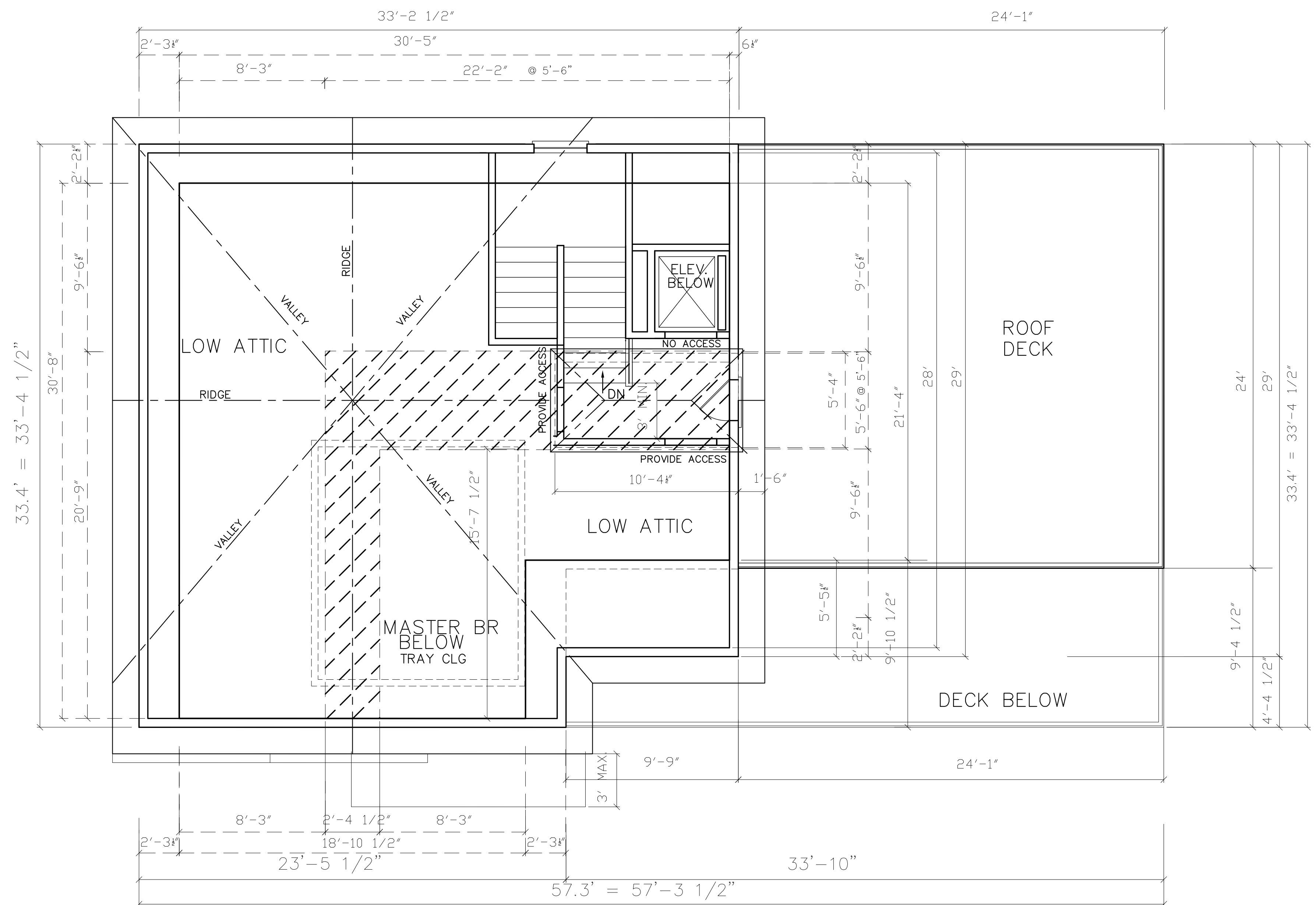
30.42 x 21.33 = 648.86 SF  
18.88 x 9.88 = 186.53 SF

835.39 SF NET FLOOR AREA  
(NET AREA = AREA OF RAFTER/FLOOR INTERSECTION)  
(SEE DASHED LINE AREA OF PLAN ABOVE)  
835.39 X 25% = 208.85 FLOOR AREA OVER 5'-6" ALLOWED

ATTIC AREA OVER 5'-6" = 159.14 SF

22.17 X 5.5 = 121.94 SF  
2.38 X 15.63 = 37.20 SF

159.14 SF IS OVER 5'-6"  
(SEE HATCHED AREA OF PLAN ABOVE)  
159.14 SF / 835.39 SF = 19.05 %  
159.14 SF OVER 5'-6" IS LESS THAN 25%, (19.05%)



A  
A-4

## Proposed Attic Floor Plan

ROOF 1287 SF  
1287 SF X 5% = 64  
CUPOLA ROOF 63 SF W/3" OVERHANG

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DRAWING TITLE  
ATTIC PLAN

DATE  
6-21-19

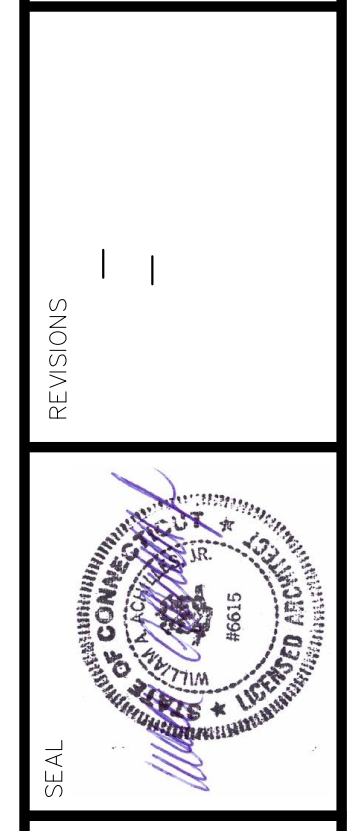
SCALE  
1/4

JOB NO.  
1610

SHEET NO.

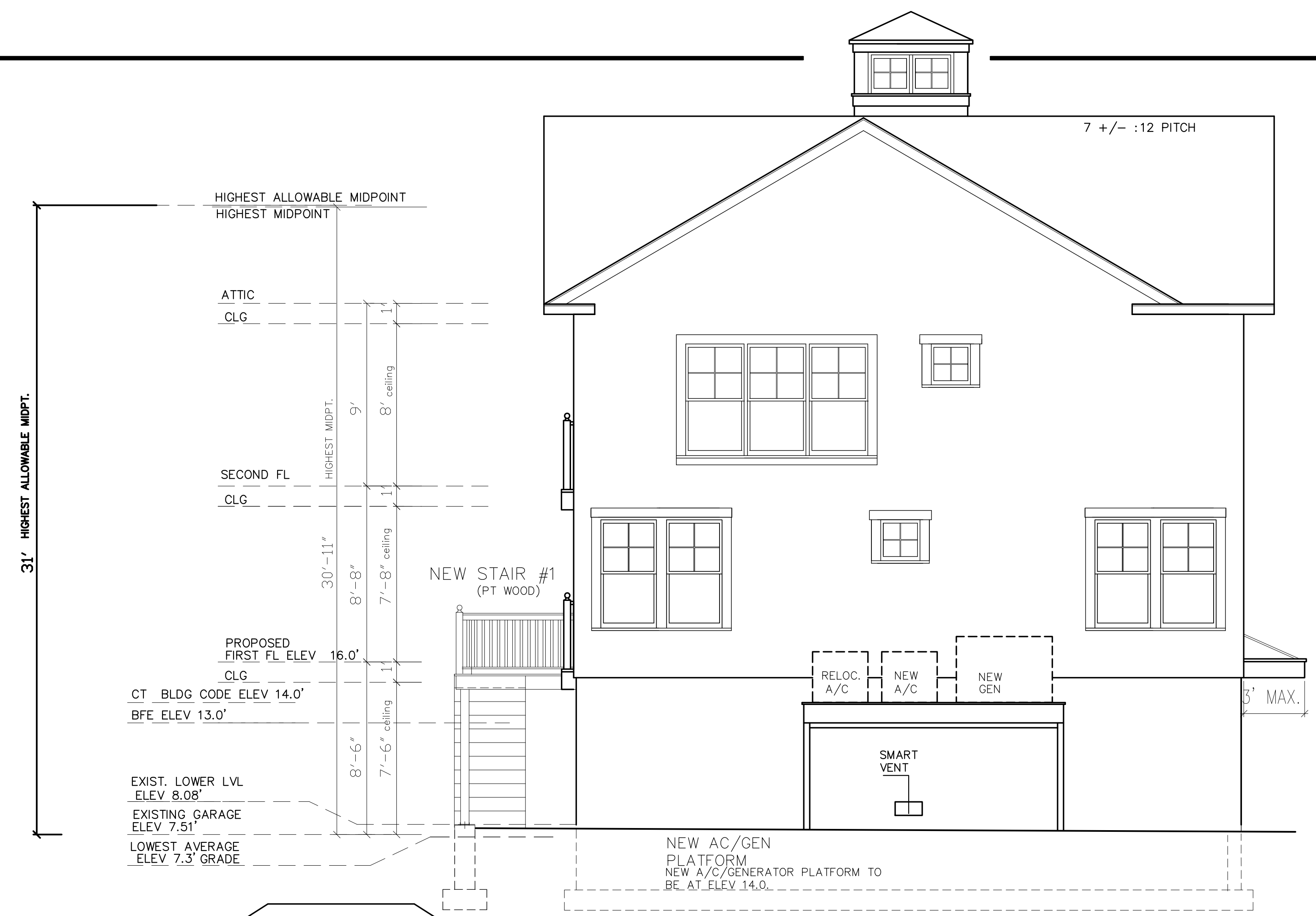
A-4

JOB TITLE HOUSELIFT AND ADDITIONS TO:  
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DRAWING TITLE PROPOSED ELEVATIONS  
 DATE 6-21-19  
 SCALE 1/4  
 JOB NO. 1610  
 SHEET NO. A-5



HIGHEST ALLOWABLE MIDPOINT  
 HIGHEST MIDPOINT  
 ATTIC  
 CLG  
 SECOND FL  
 CLG  
 PROPOSED  
 FIRST FL ELEV 16.0'  
 CLG  
 CT BLDG CODE ELEV 14.0'  
 BFE ELEV 13.0'  
 EXIST. LOWER LVL  
 ELEV 8.08'  
 EXISTING GARAGE  
 ELEV 7.51'  
 LOWEST AVERAGE  
 ELEV 7.3' GRADE  
 31' HIGHEST ALLOWABLE MIDPT.  
 30'-11"  
 9'  
 8'-8"  
 7'-8" ceiling  
 8'-6"  
 7'-6" ceiling  
 8' ceiling  
 1'  
 1'  
 1'  
 1'  
 1'  
 1'

NEW AC/GEN  
 PLATFORM  
 NEW A/C/GENERATOR PLATFORM TO  
 BE AT ELEV 14.0.

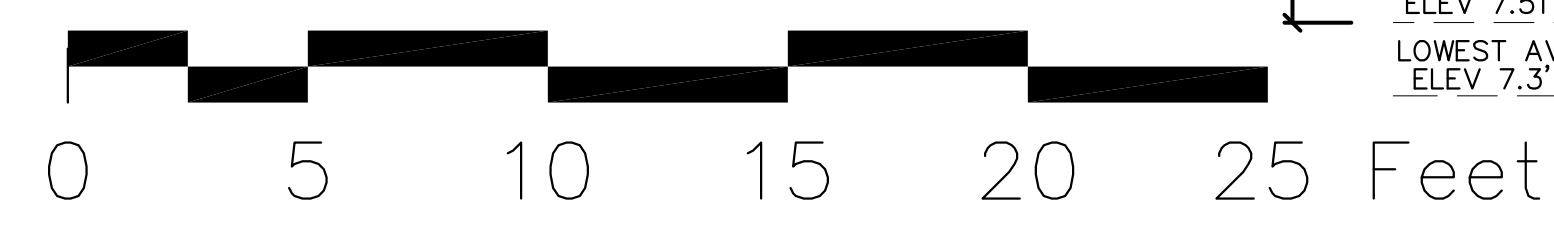
(A) Proposed Left Side Elevation  
 (A-5)

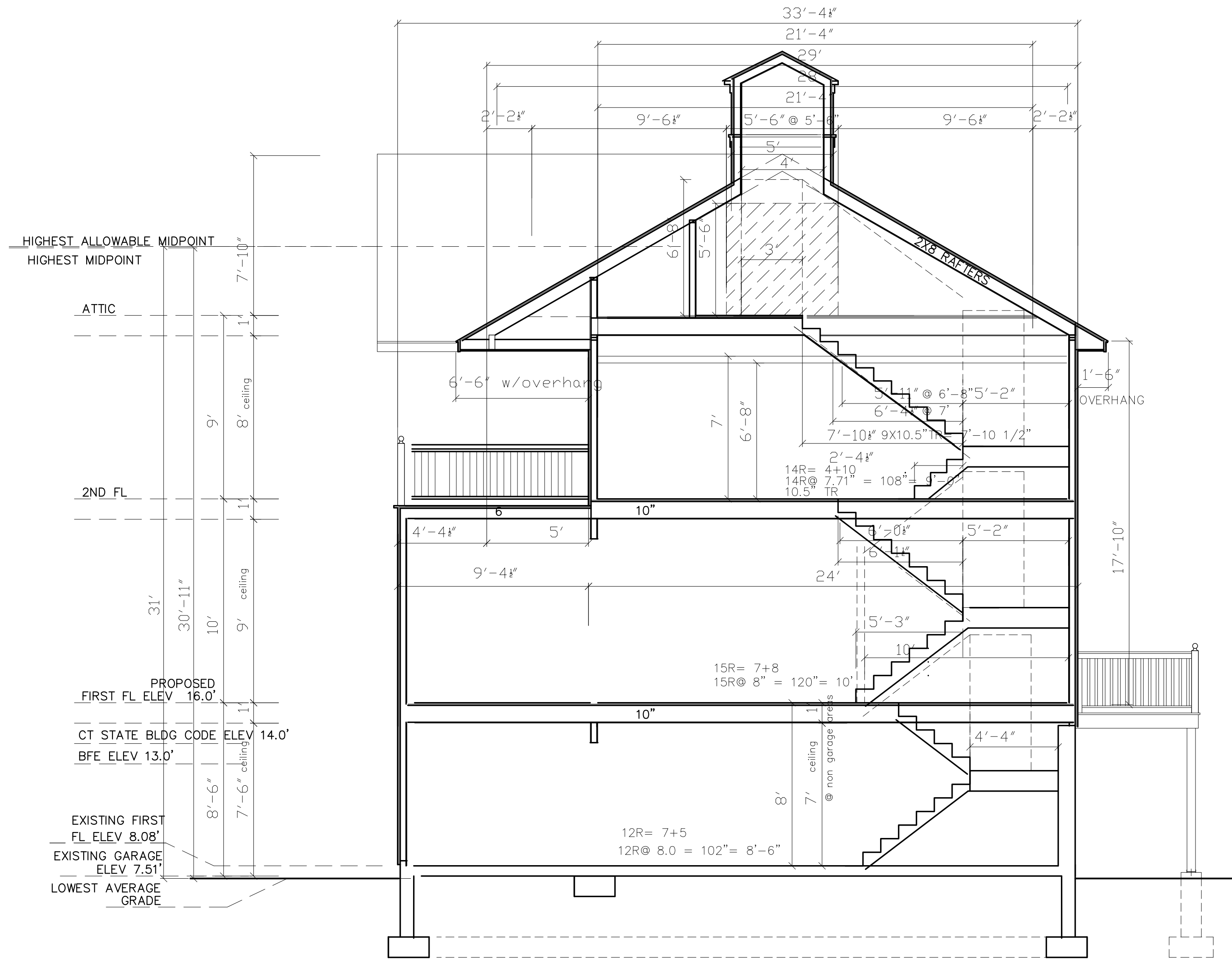


HIGHEST ALLOWABLE MIDPOINT  
 HIGHEST MIDPOINT  
 ATTIC  
 CLG  
 SECOND FL  
 CLG  
 PROPOSED  
 FIRST FL ELEV 16.0'  
 CLG  
 CT BLDG CODE ELEV 14.0'  
 BFE ELEV 13.0'  
 EXIST. LOWER LVL  
 ELEV 8.08'  
 EXISTING GARAGE  
 ELEV 7.51'  
 LOWEST AVERAGE  
 ELEV 7.3' GRADE  
 31' HIGHEST ALLOWABLE MIDPT.  
 10'-3" FL. TO FL.  
 9'-3" CLG. HT.  
 10'-3" FL. TO FL.  
 9'-3" CLG. HT.  
 8'-6" FL. TO FL.  
 7'-6" CLG. HT.  
 30'-11"  
 8'-6" FL. TO FL.  
 7'-6" CLG. HT.  
 18"  
 OVERHANG  
 20% MIN SETBACK  
 7'-6" @ 20%=18"  
 NEW AC/GEN  
 PLATFORM  
 NEW A/C/GEN  
 PLATFORM TO BE AT  
 ELEV 14.0.  
 NEW GEN  
 A/C

NEW ELECTRIC UTILITY  
 STAIR #2  
 RAISE ELEC  
 PANEL ABOVE  
 BFE PLUS ONE  
 ELEV 14.0, MIN.

Proposed  
 Front Elevation  
 (B)  
 (A-5)





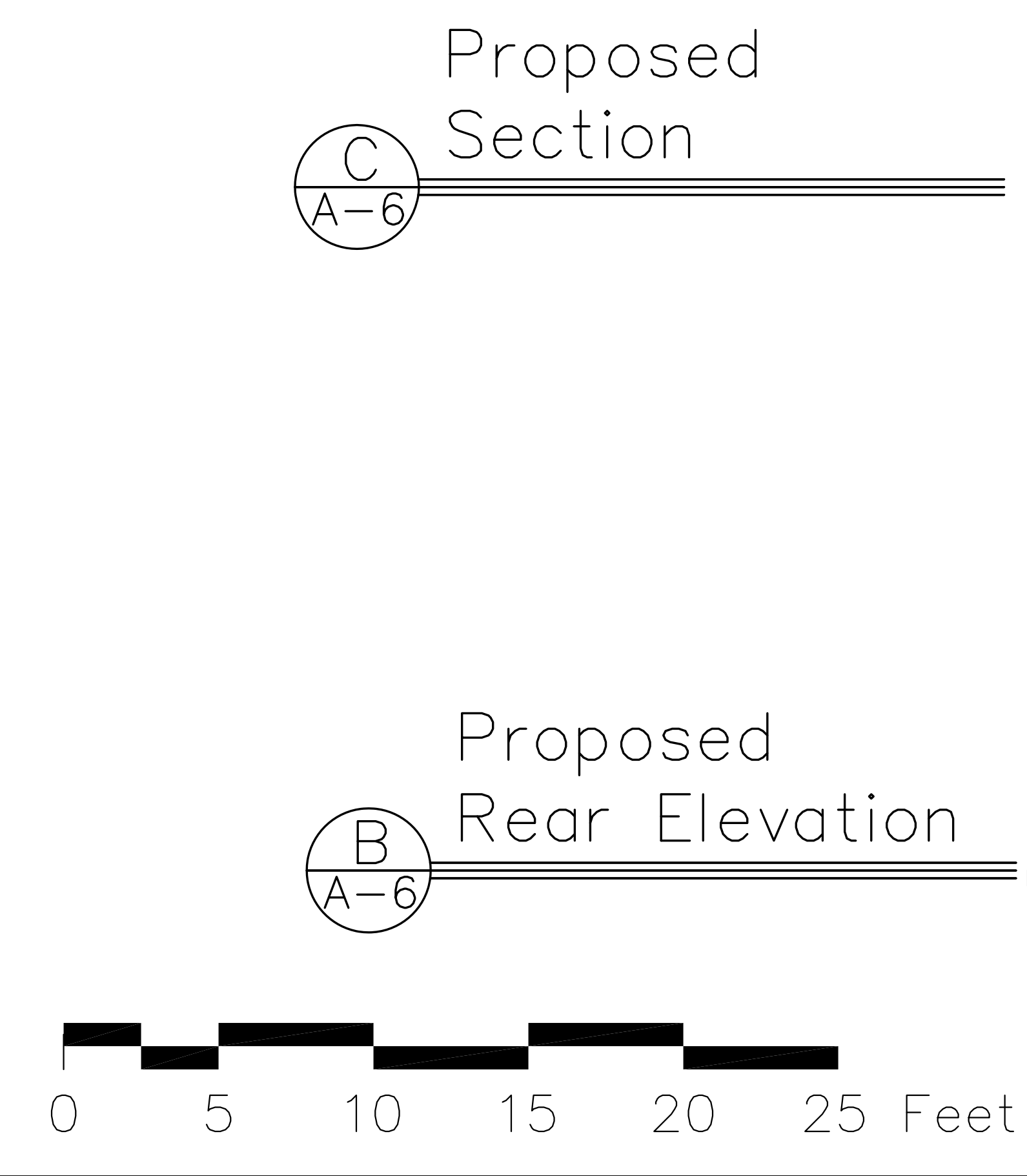
Proposed Section

C  
A-6



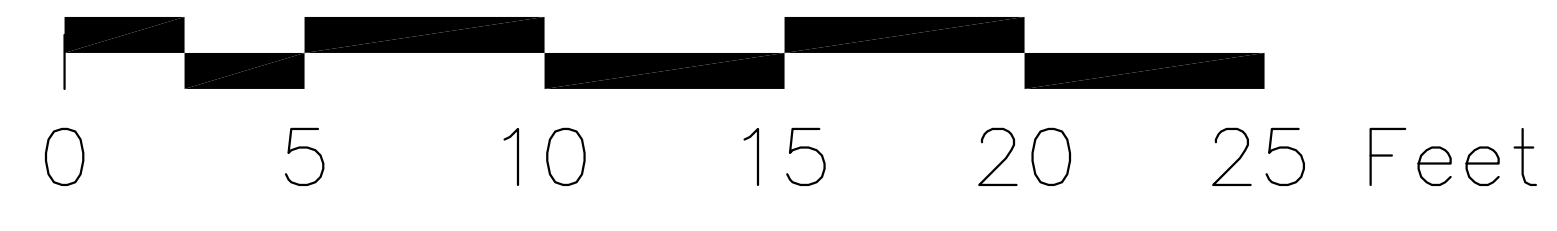
Proposed Right Side Elevation

A  
A-6

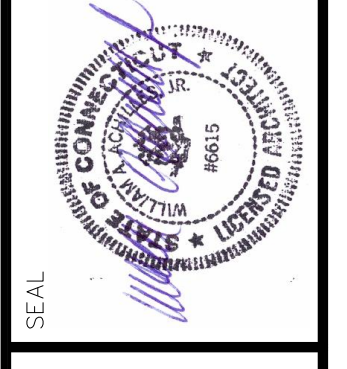


Proposed Rear Elevation

B  
A-6



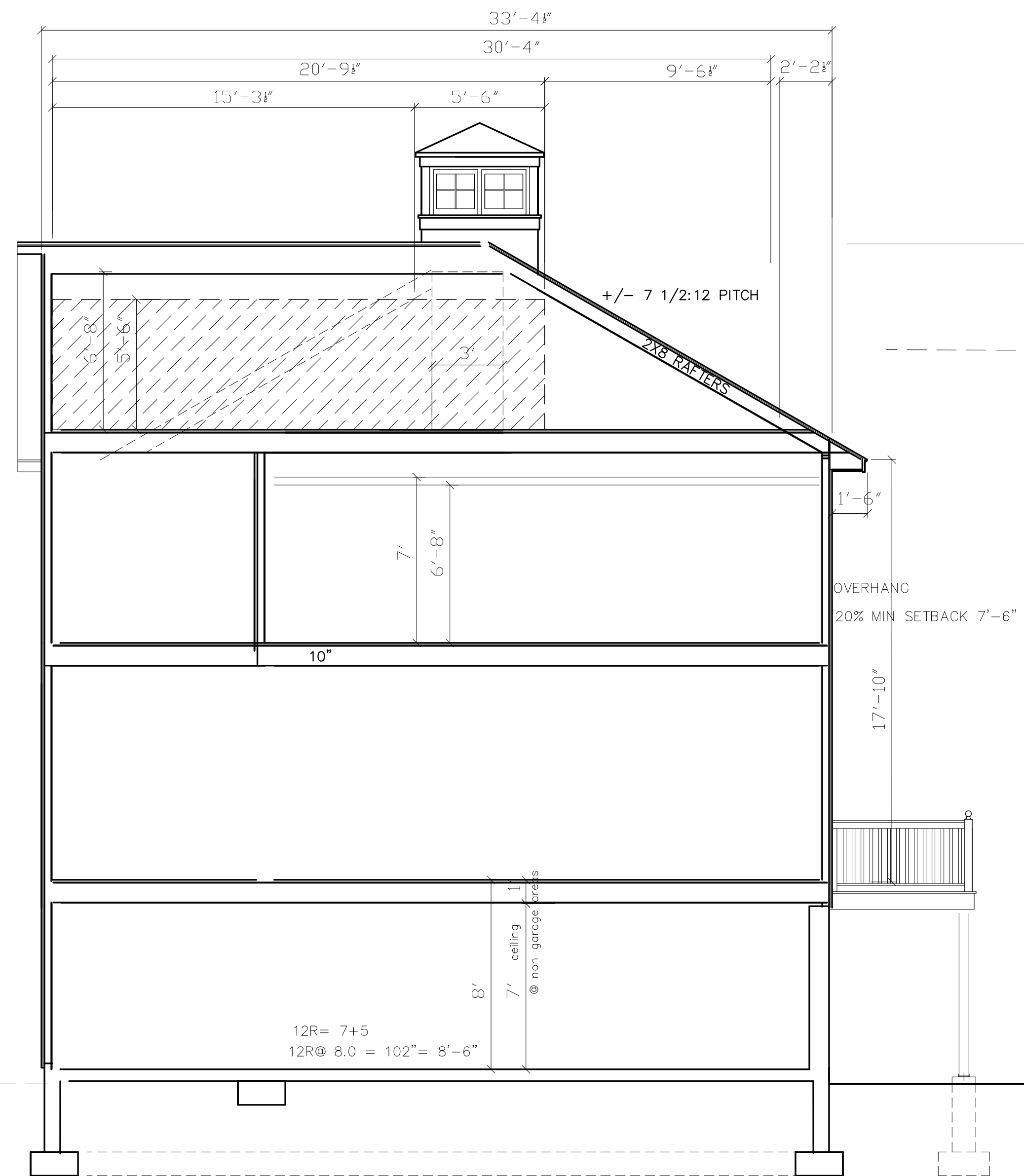
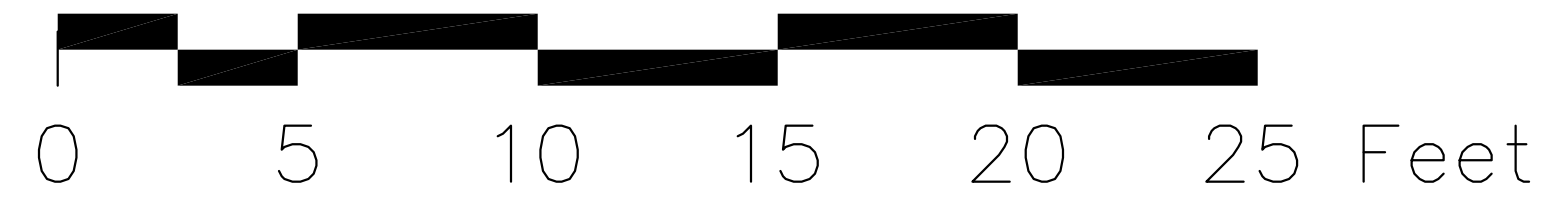
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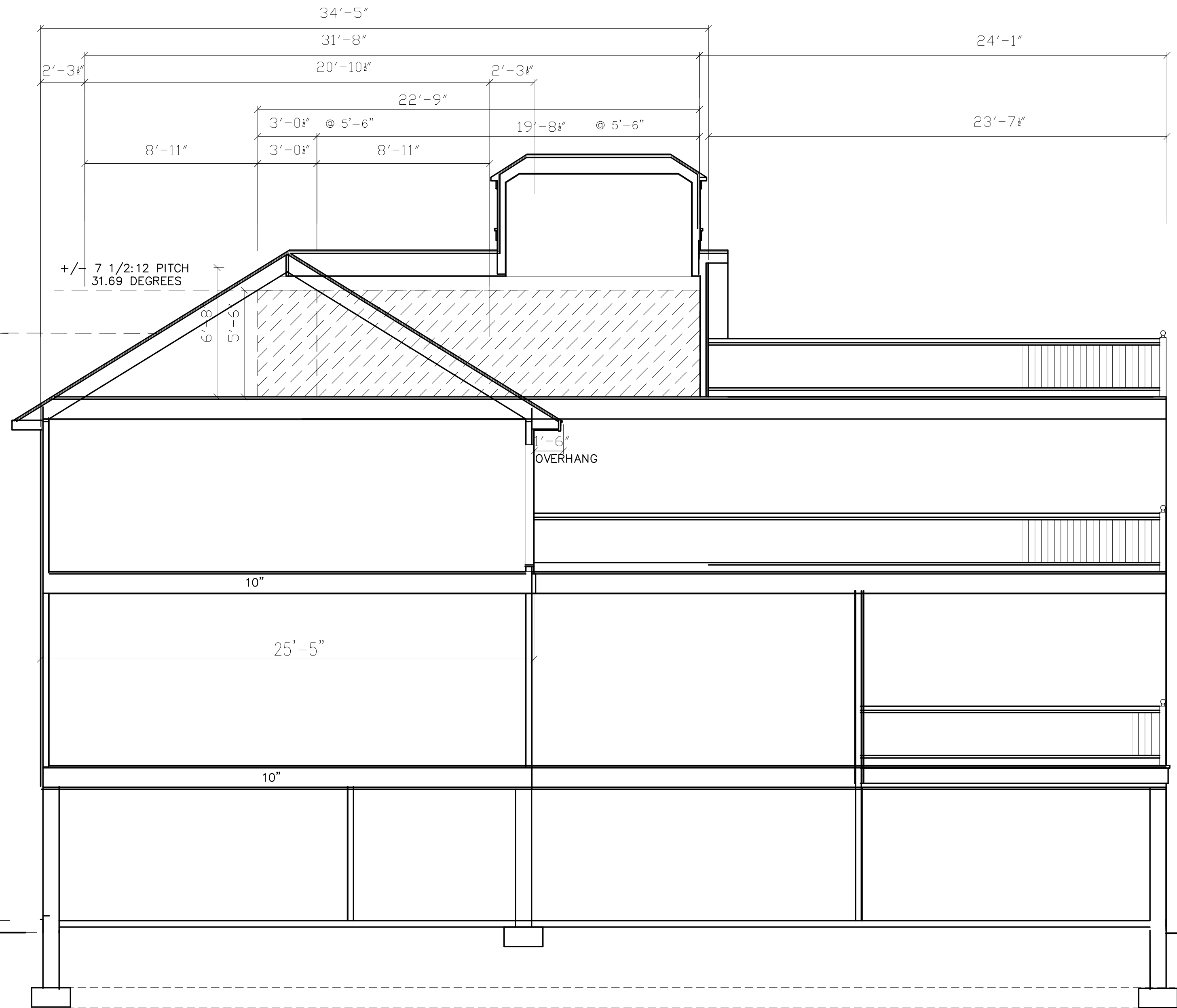
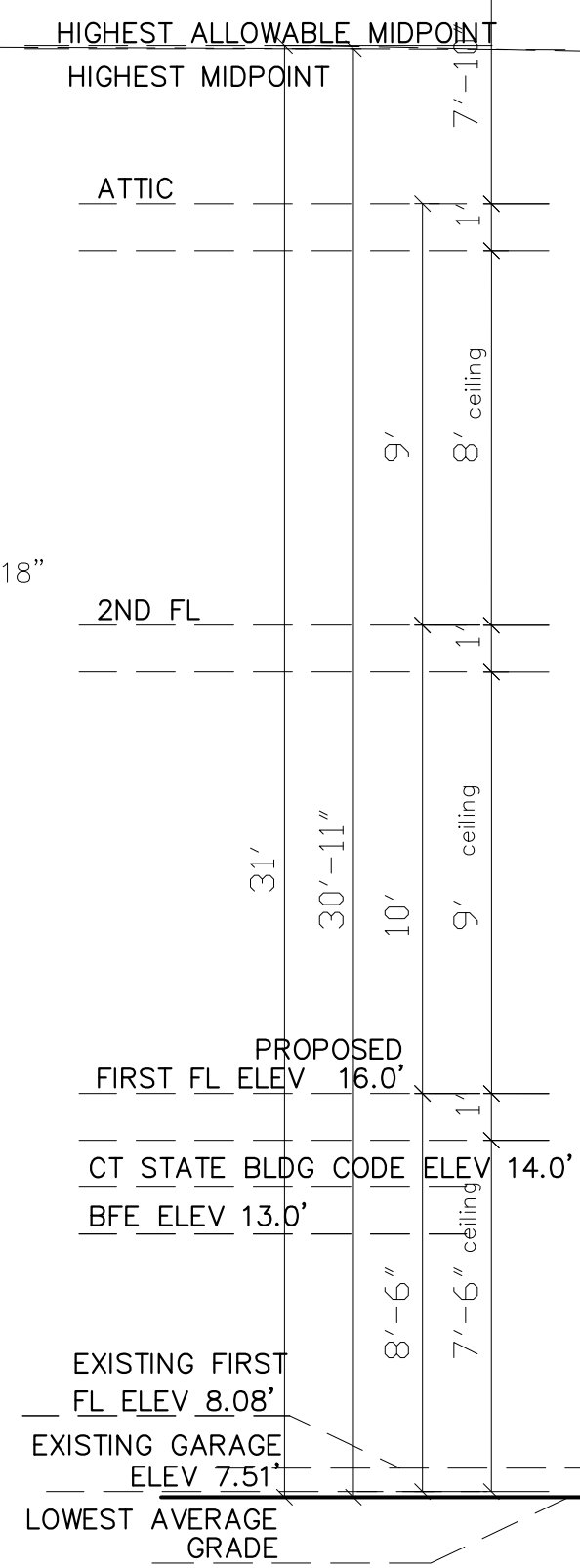
BRAWING TITLE	PROPOSED ELEVATIONS
DATE	6-21-19
SCALE	1/4"
JOB NO.	1610
SHEET NO.	A-6





Proposed Section

B  
A-7

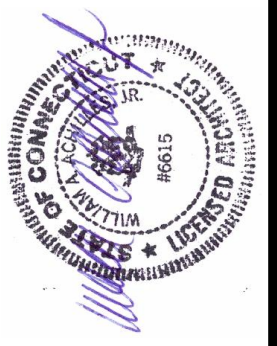


Proposed Long Section

A  
A-7

JOB TITLE HOUSELIFT AND ADDITIONS TO:  
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DRAWING TITLE  
PROPOSED SECTIONS

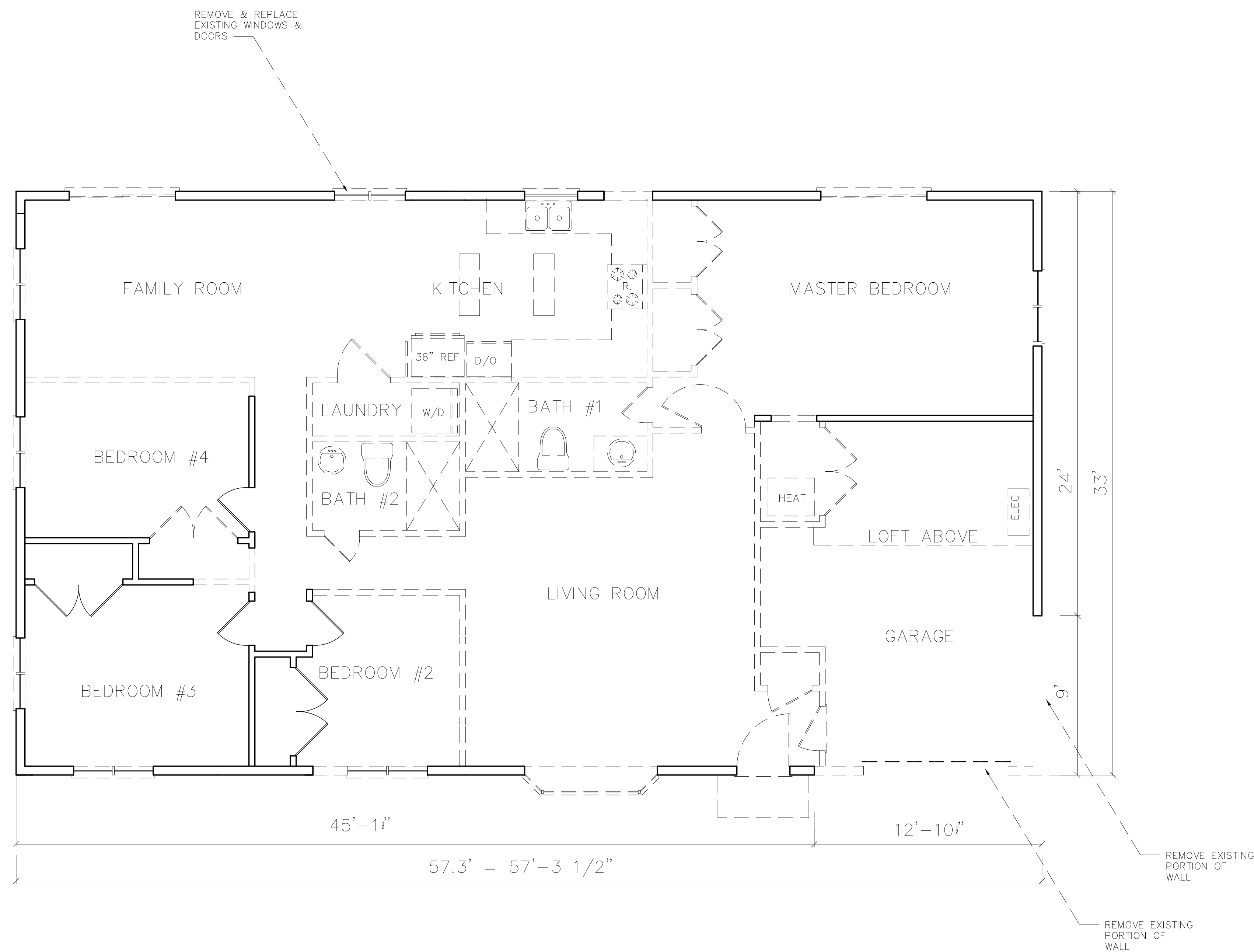
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6-21-19

SCALE  
1/4

JOB NO.  
1610

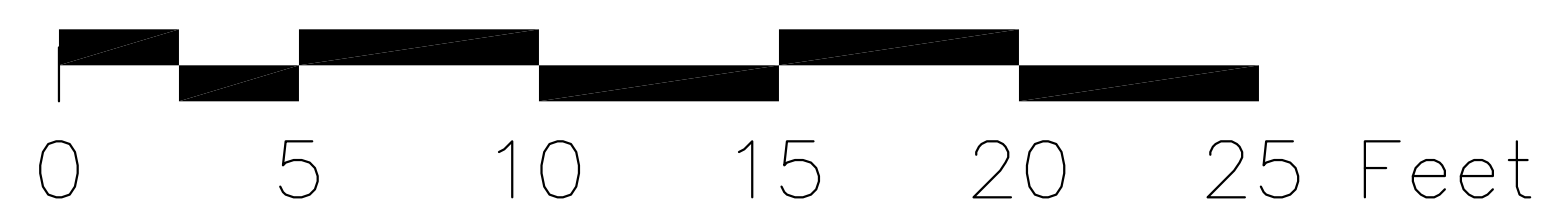
SHEET NO.

A-7



**A**  
**E-1** Existing/Demolition Floor Plan

57.3+57.3+33.4+33.4= 181.4 LF EXISTING PERIMETER  
 12.88+9.38= 22.26 LF PERIMETER TO BE REMOVED  
 22.26 LF/181.4 = 12.27%  
 ALLOWED = 35%



JOB TITLE HOUSELIFT AND ADDITIONS TO:  
 WHELAN RESIDENCE  
 25 MARINE LANE  
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DRAWING TITLE  
 EXISTING/DEMO  
 PLAN

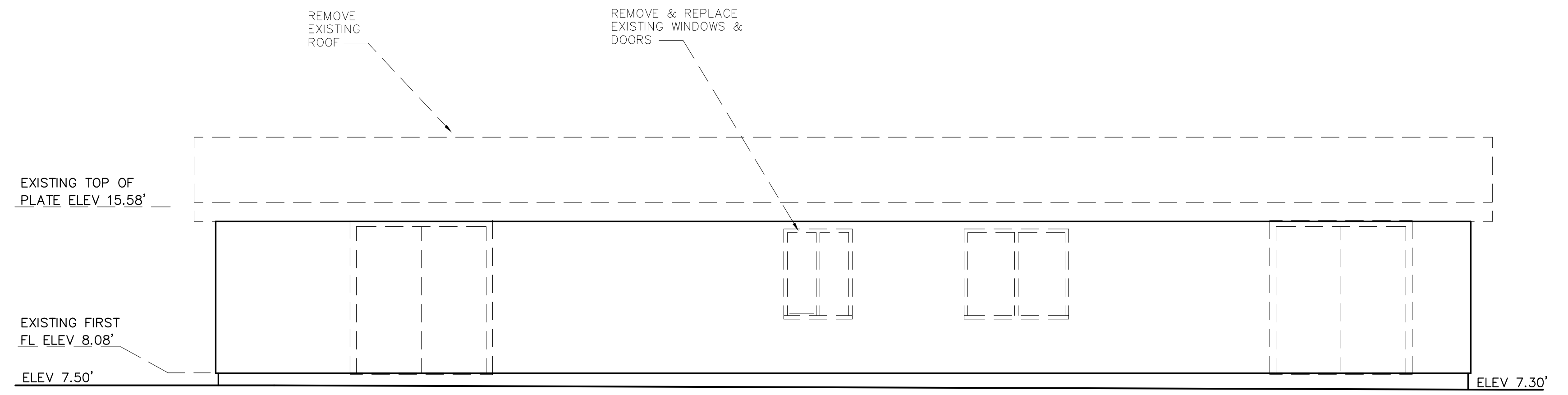
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SCALE  
 1/4

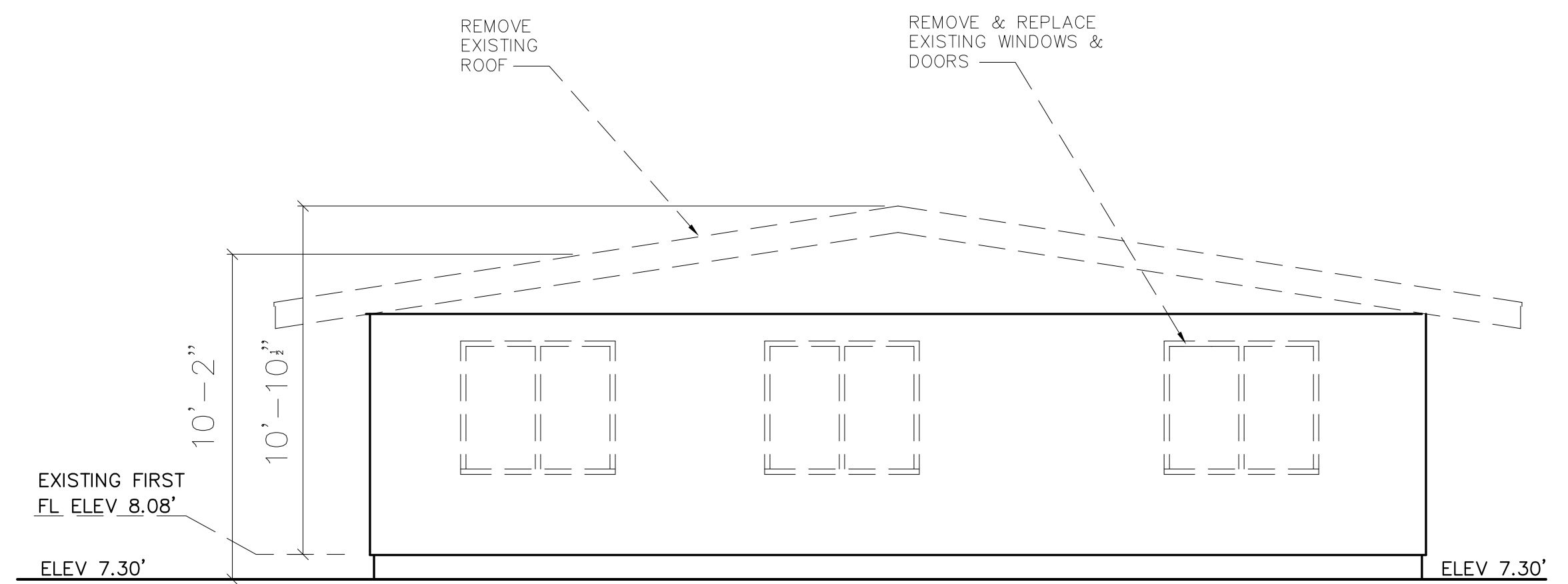
JOB NO.  
 1610

SHEET NO.  
 E-1

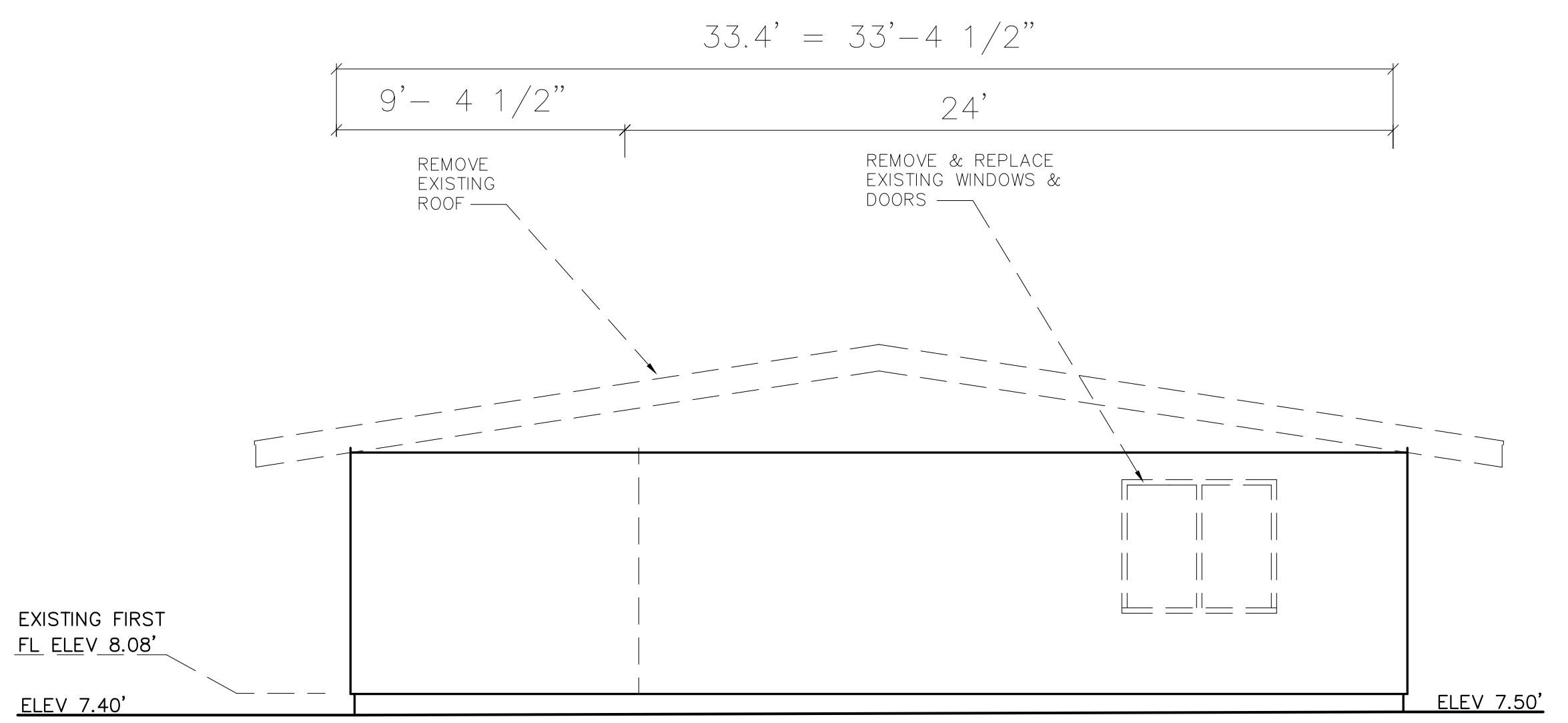




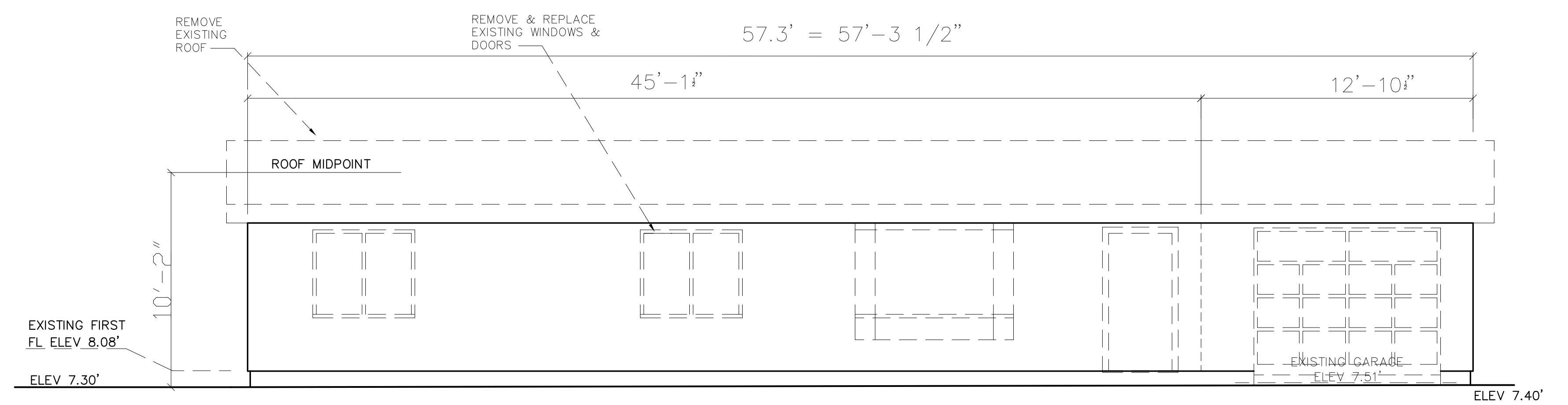
**D**  
E-2 Existing/Demo Rear Elevation



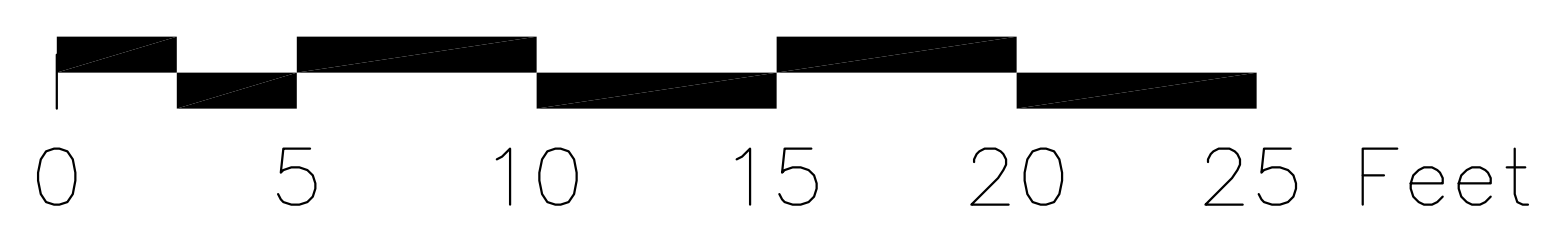
**C**  
E-2 Existing/Demo Left Side Elevation



**B**  
E-2 Existing/Demo Right Side Elevation



**A**  
E-2 Existing/Demo Front Elevation



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DRAWING TITLE  
EXISTING/DEMO  
ELEVATIONS

DATE  
6-21-19

SCALE  
1/4

JOB NO.  
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SHEET NO.

E-2