

Proposed Site Plan

BASE LOT CALCULATION — PROPOSED (ALL ENTRIES IN SQUARE FEET)		
1	GROSS LOT AREA	= 10,000 SQ. FT.
2	ABOVE-GROUND UTILITY EASEMENTS	= 0 SQ. FT.
3	STREET AND ROAD	= 0 SQ. FT.
4	OTHER EXCLUSIVE SURFACE EASEMENT	= 0 SQ. FT.
5	TOTAL EASEMENTS AND ROADS (Sum of Lines 2, 3 and 4)	= 0 SQ. FT.
6	WETLANDS AREA	= 0 SQ. FT.
7	STEEP SLOPES OF 25% OR GREATER	= 0 SQ. FT.
8	TOTAL WETLANDS/SLOPES (Sum of Line 6 & 7)	= 0 SQ. FT.
9	WETLANDS/SLOPES REDUCTION 0.8 x LINE # 8	= 0 SQ. FT.
10	BASE LOT AREA (Lines 1, Minus Line 5 and Line 9)	= 10,000 SQ. FT.

NOTE: STEEP SLOPES ELIMINATED IN PROPOSED SITE PLAN

AVG. GRADE AROUND RESIDENCE: (EXISTING)

$$\frac{15.9+16.8+16.5+16.8+17.5+17.8+18.5+19.4+18.8+16.5+15.1+14.6}{12} = 17.02$$

$$\begin{aligned} \text{ELEVATION OF ROOF PEAK} &= 45.20 \\ \text{ELEVATION OF ROOF EAVE} &= 38.96 \\ \text{ELEVATION OF ROOF MIDPOINT} &= \frac{45.20+38.96}{2} = 42.08 \end{aligned}$$

AVG. GRADE AROUND RESIDENCE: (PROPOSED)

$$\frac{16.2+16.9+16.6+16.9+17.6+17.9+18.6+19.5+18.9+18.2+17.0+17.0}{12} = 17.61$$

$$\begin{aligned} \text{ELEVATION OF ROOF PEAK} &= 45.20 \\ \text{ELEVATION OF ROOF EAVE} &= 38.96 \\ \text{ELEVATION OF ROOF MIDPOINT} &= \frac{45.20+38.96}{2} = 42.08 \end{aligned}$$

HEIGHT OF RESIDENCE: (EXISTING & PROPOSED)

$$\begin{aligned} \text{EXISTING ELEVATION OF ROOF MIDPOINT} - \text{AVG. GRADE} &= 42.08 - 17.02 = 25.06 \text{ FEET} \\ \text{PROPOSED ELEVATION OF ROOF MIDPOINT} - \text{AVG. GRADE} &= 42.08 - 17.61 = 24.47 \text{ FEET} \\ \text{ELEVATION OF RESIDENCE FINISH FLOOR} &= 20.81 \end{aligned}$$

BUILDING COVERAGE: (EXISTING)

ALLOWABLE TOTAL BUILDING COVERAGE- 15%	1,500 SQ. FT.	= 15.0 %
RESIDENCE, PORCH, STAIRS, DECK	1,275.8 SQ. FT.	
GARAGE	247.5 SQ. FT.	
TOTAL BUILDING COVERAGE	1,523.3 SQ. FT.	= 15.43 %

BUILDING COVERAGE: (PROPOSED)

RESIDENCE, PROPOSED GARAGE ADDITION	1,521.5 SQ. FT.	
RESIDENCE 1121.5 SF+GARAGE ADDITION 400 SF	=1,521.5 SF	
TOTAL BUILDING COVERAGE	1,521.5 SQ. FT.	= 15.21 %

LOT COVERAGE: (EXISTING)

ALLOWABLE TOTAL LOT COVERAGE- 35%	3,500 SQ. FT.	= 35.00 %
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TOTAL BUILDING COVERAGE	1,523.3 SQ. FT.	
DRIVEWAY	1,521 SQ. FT.	
TOTAL LOT COVERAGE	3,044.3 SQ. FT.	= 30.84 %

LOT COVERAGE: (PROPOSED)

TOTAL BUILDING COVERAGE	1,521.5 SQ. FT.	
DRIVEWAY	675 SQ. FT.	
POOL	392 SQ. FT.	
TOTAL LOT COVERAGE	2,588.5 SQ. FT.	= 25.88 %

JOB TITLE  
ADDITONS & ALTERATIONS TO  
S.I.R. DEVELOPMENT  
9 SHERWOOD DRIVE  
WESTPORT, CT 06880

REVISIONS  
7-3-19



**Achilles Architects**  
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BRIDGEPORT, CT 06606

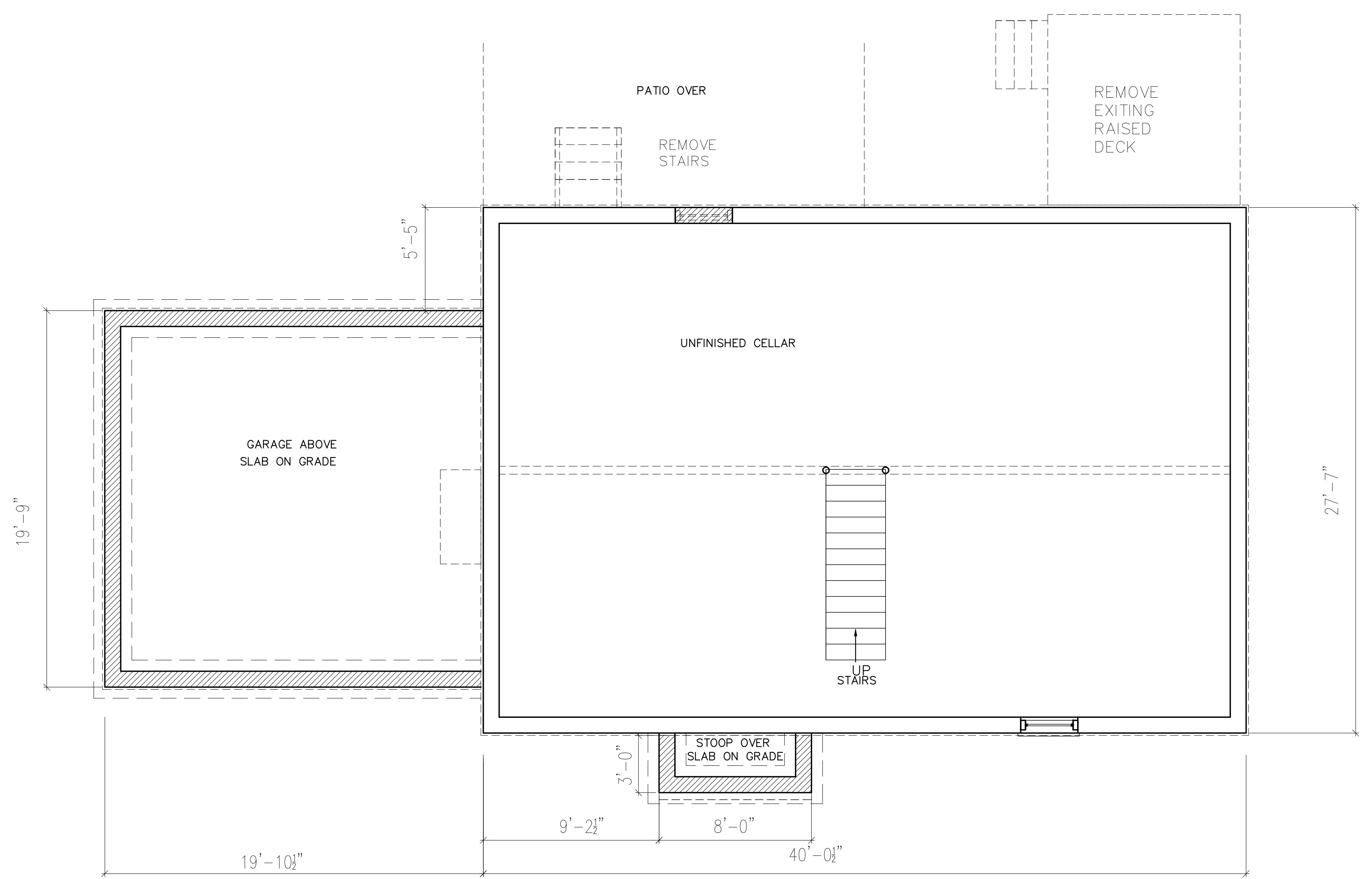
PROPOSED  
SITE PLAN

DATE  
6-17-19

SCALE  
10th

JOB NO.  
1905

SHEET NO.  
S-1



Proposed Cellar Floor Plan

JOB TITLE  
 ADDITIONS & ALTERATIONS TO  
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 9 SHERWOOD DRIVE  
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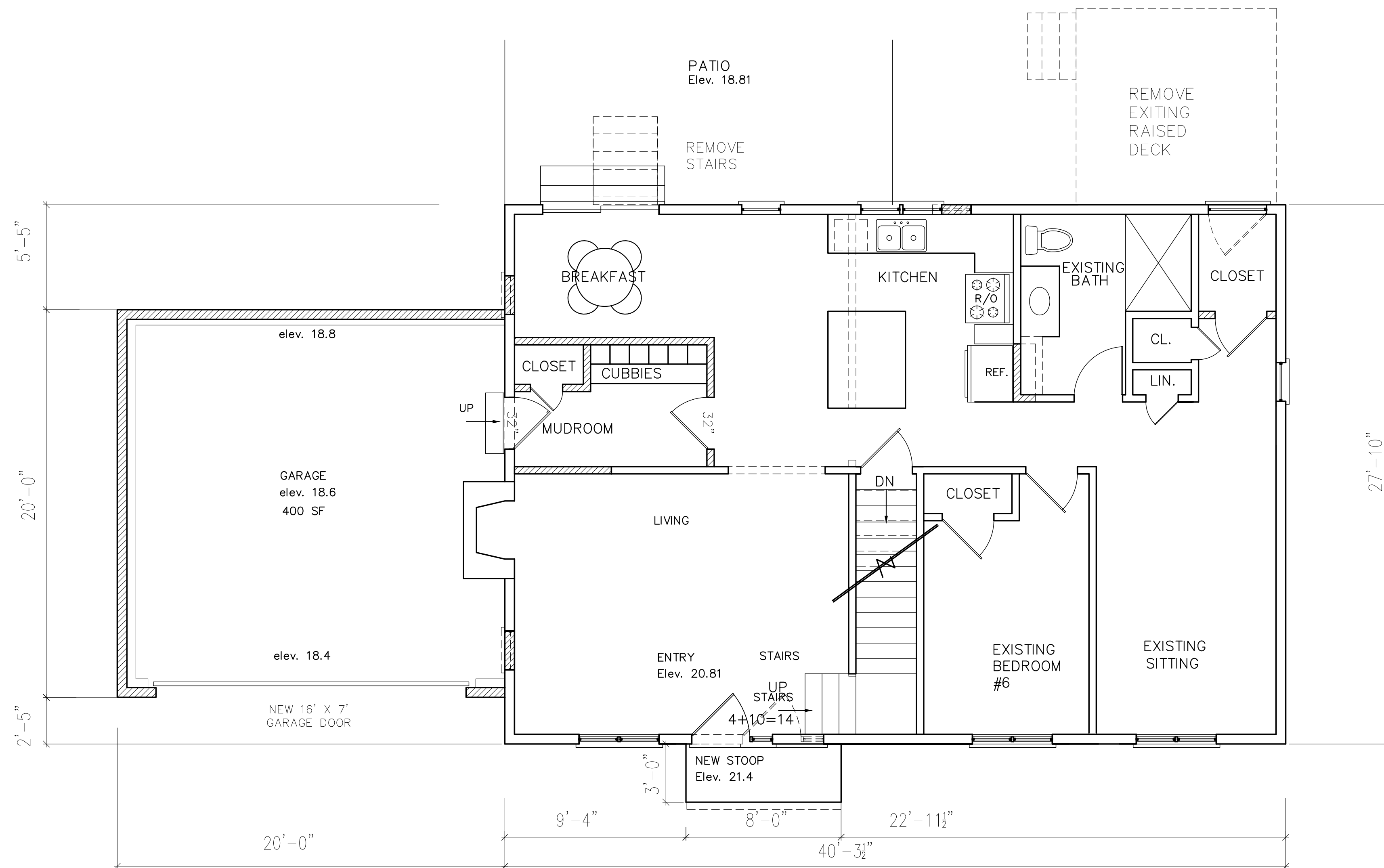
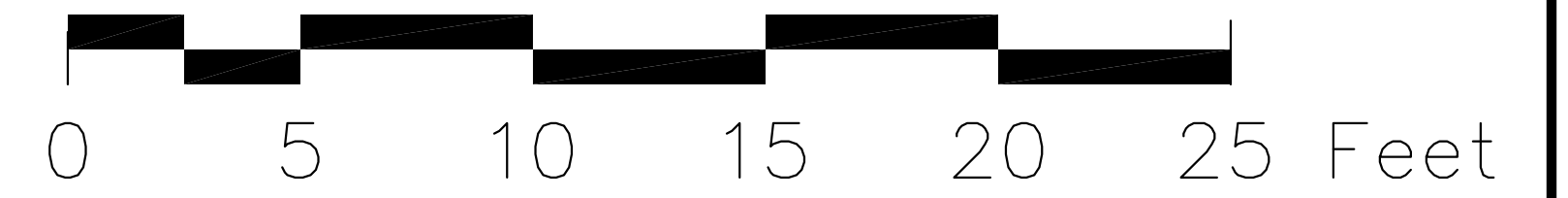
CELLAR PLAN

DATE  
 6-17-19

SCALE  
 1/4"

JOB NO.  
 1905

SHEET NO.  
 A-1



### Proposed First Floor Plan

1121.5 sf Total Existing Bldg  
 + 400 New Garage SF =  
 1,521.5 SF Proposed Building Coverage  
 1,523.3 SF Existing Building Coverage

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FIRST FLOOR  
 PLAN

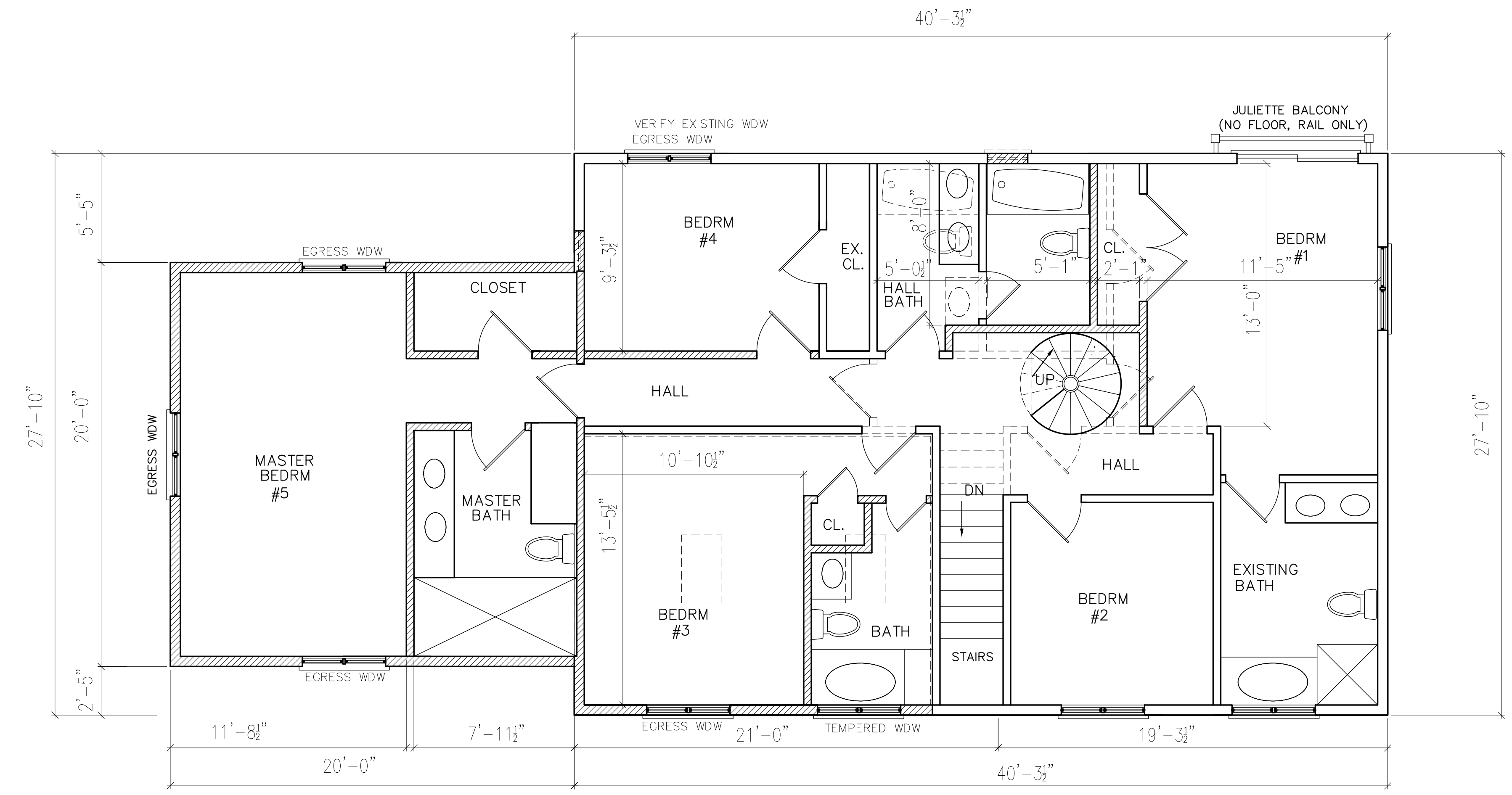
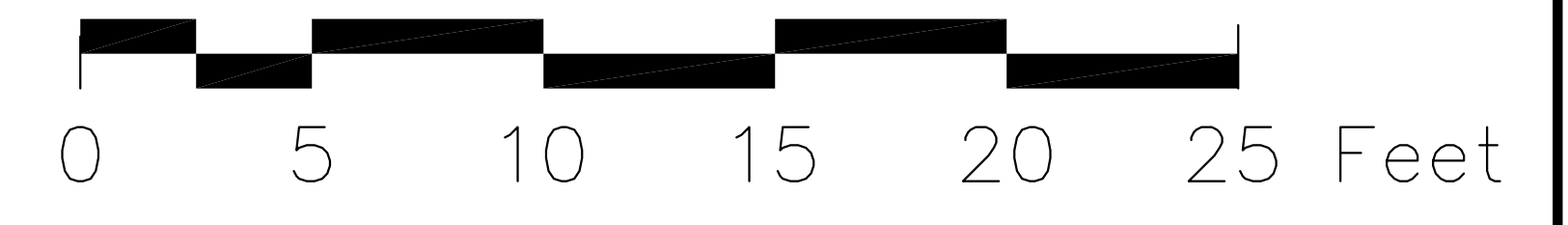
DATE  
 6-17-19

SCALE  
 1/4"

JOB NO.  
 1905

SHEET NO.

A-2



Proposed Second Floor Plan  
 1,521.5 SF Proposed 2nd Floor

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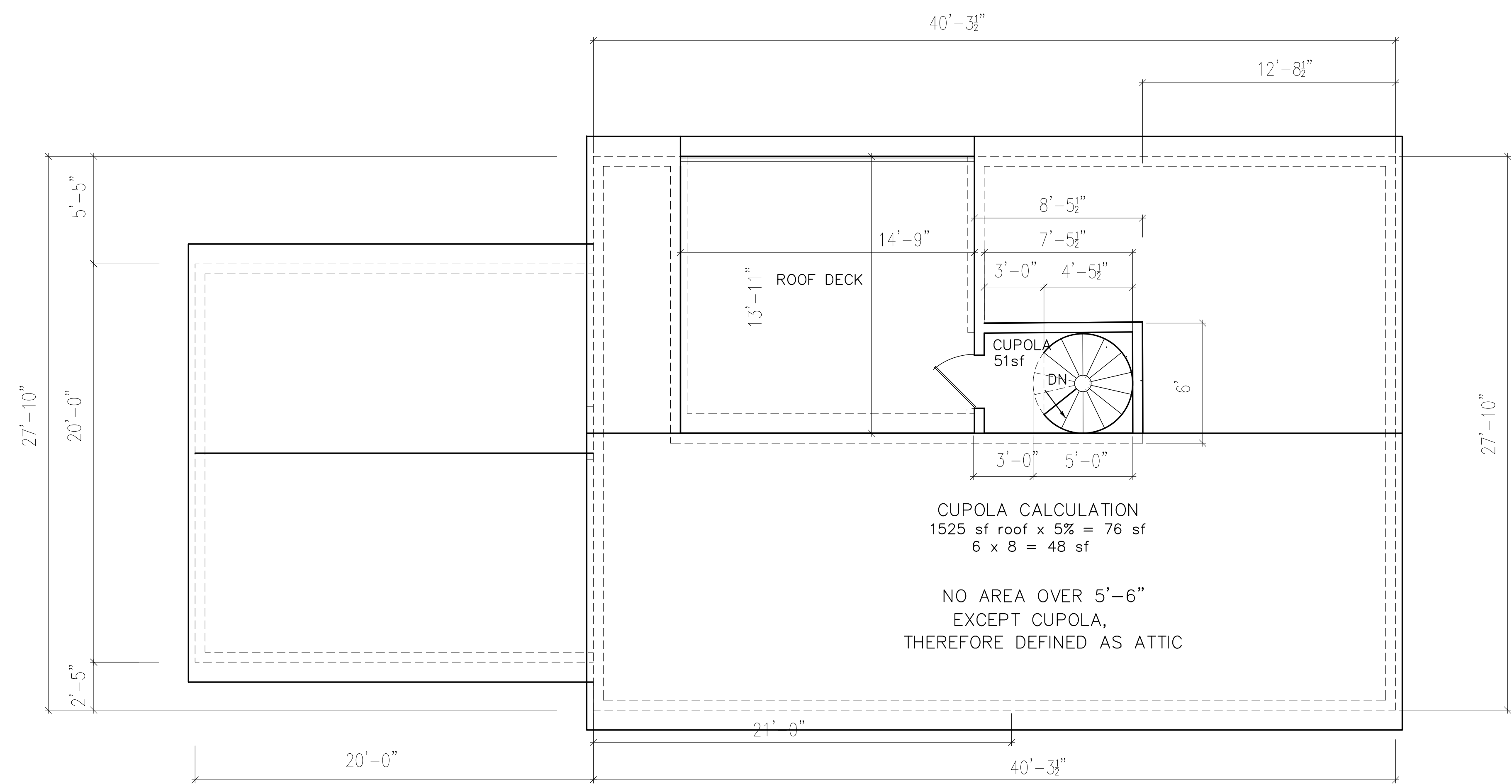
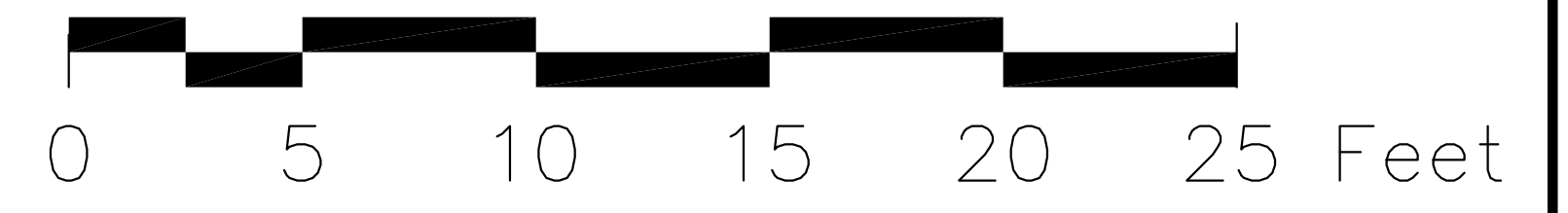
SECOND FLOOR PLAN

DATE  
 6-17-19

SCALE  
 1/4"

JOB NO.  
 1905

SHEET NO.  
 A-3



SPIRAL STAIR INFO  
 9'-2" FL TO FL  
 14 TREADS, 15 RISERS  
 360 ROTATION  
 INSIDE RAD 5', 10" DIAM  
 DIM AT 12" > 7 1/2"  
 RISER = 7 11/32"

CUPOLA CALCULATION  
 $1525 \text{ sf roof} \times 5\% = 76 \text{ sf}$   
 $6 \times 8 = 48 \text{ sf}$

NO AREA OVER 5'-6"  
 EXCEPT CUPOLA,  
 THEREFORE DEFINED AS ATTIC

Proposed Attic Plan

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ATTIC PLAN

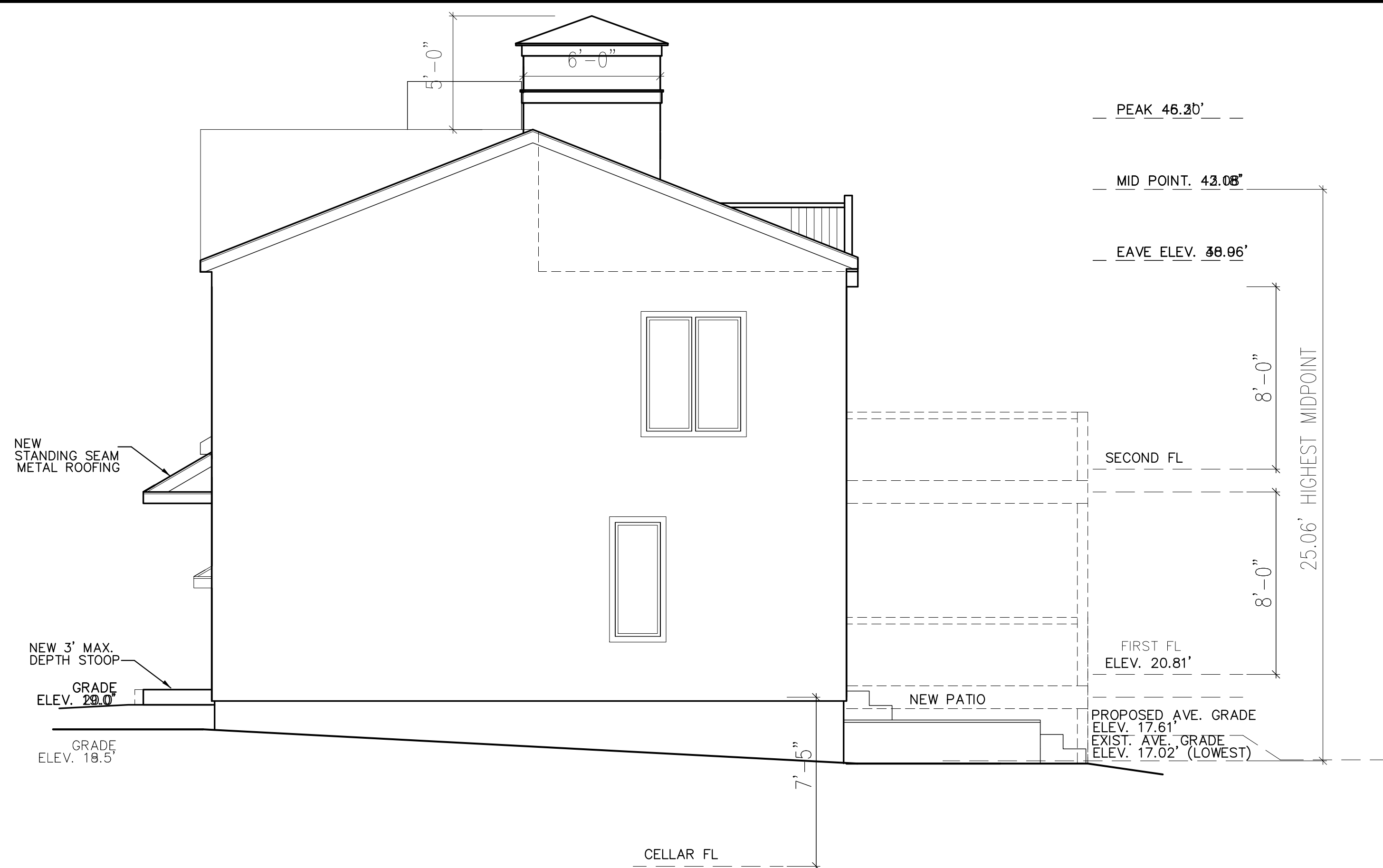
DATE 6-17-19

SCALE 1/4"

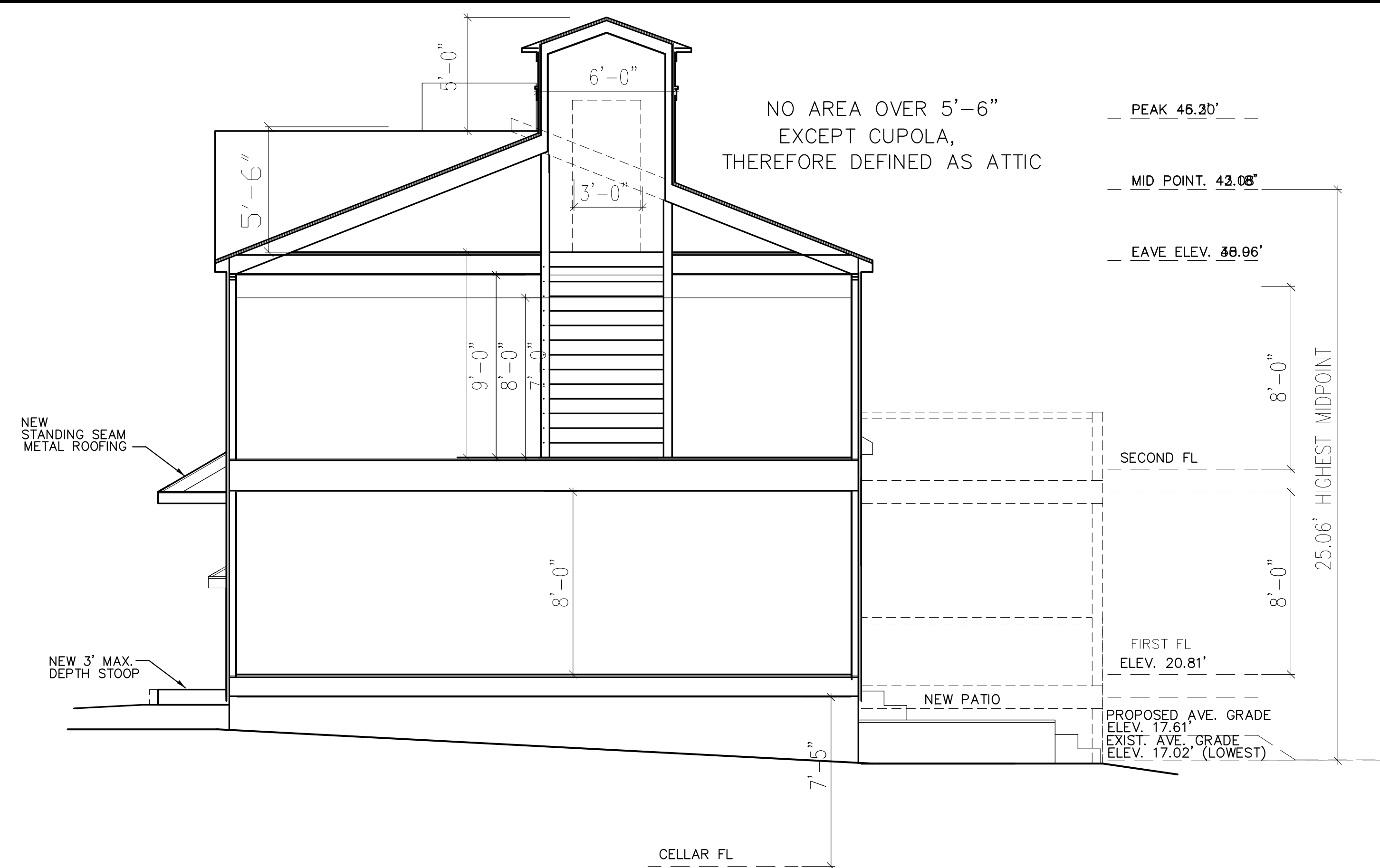
JOB NO. 1905

SHEET NO.

A-4



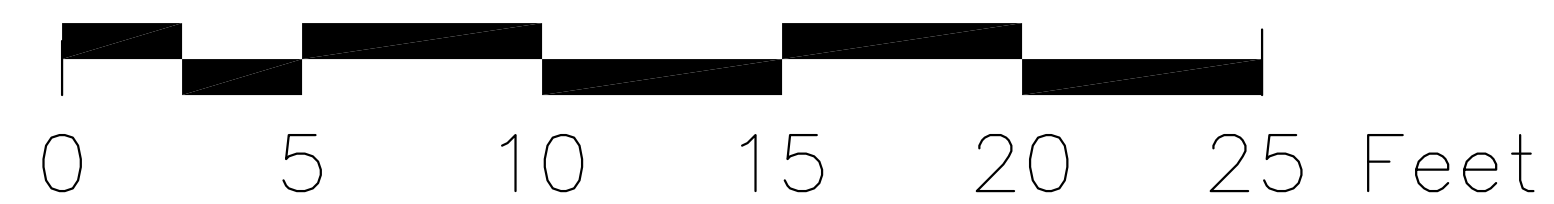
Proposed Right Elevation



Proposed Section 11.75 x 4 = 47 sf < 59 sf



Proposed Front Elevation



JOB TITLE  
**ADDITIONS & ALTERATIONS TO  
 S.I.R. DEVELOPMENT**  
 905 BERRYWOOD DRIVE  
 WESTPORT, CT 06880

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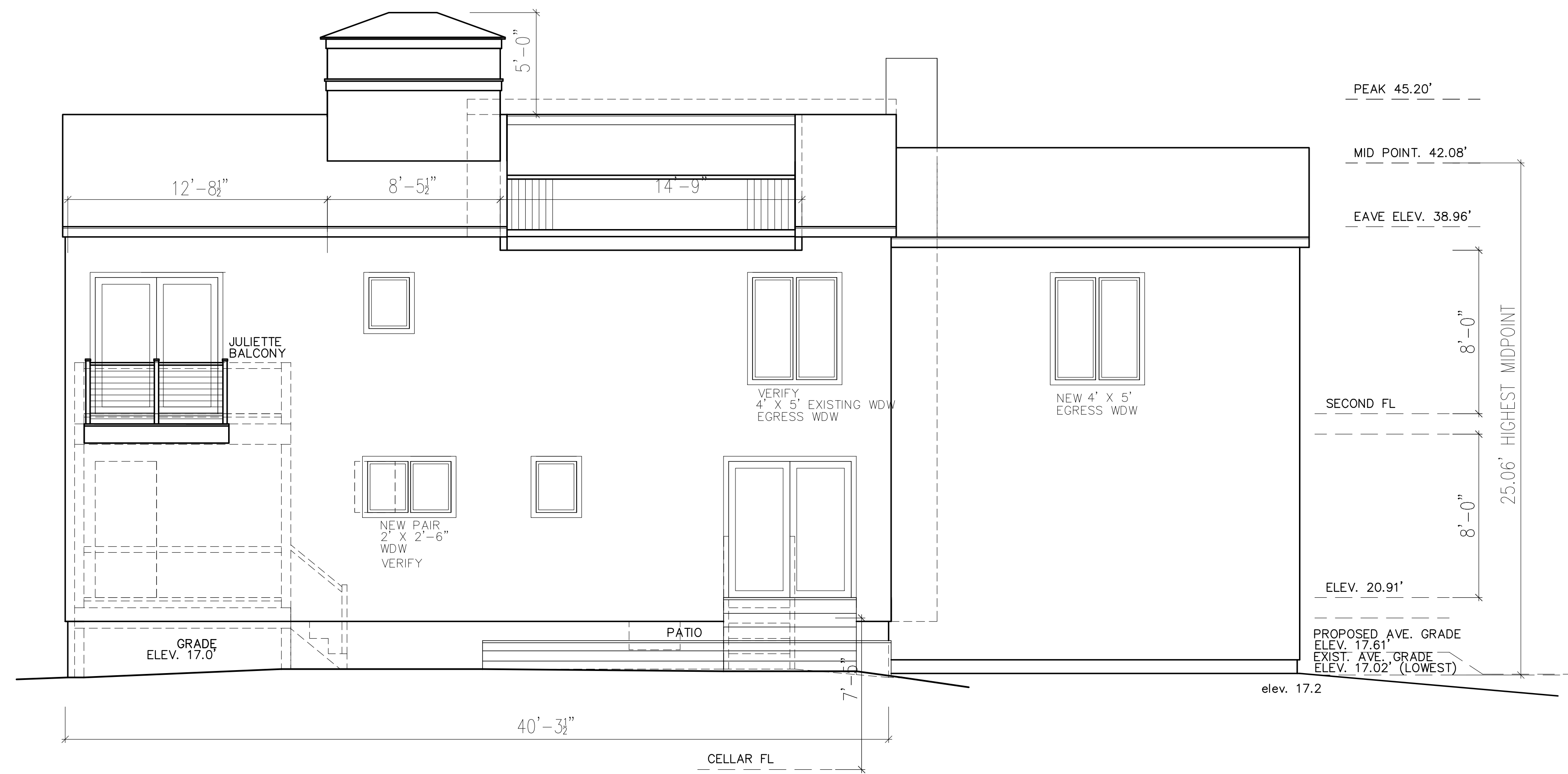
EXTERIOR  
 ELEVATIONS

DATE  
 6-17-19

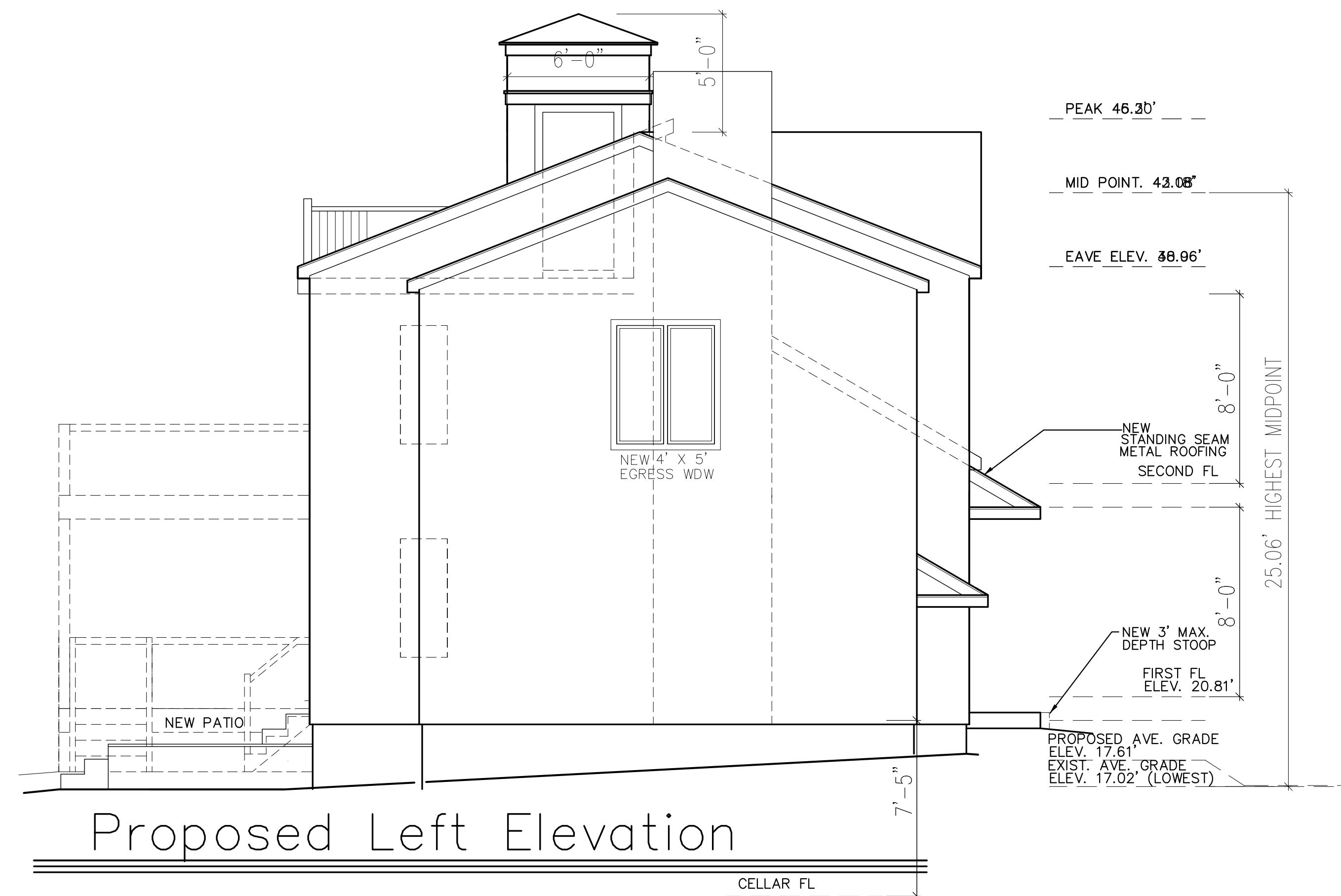
SCALE  
 1/4"

JOB NO.  
 1905

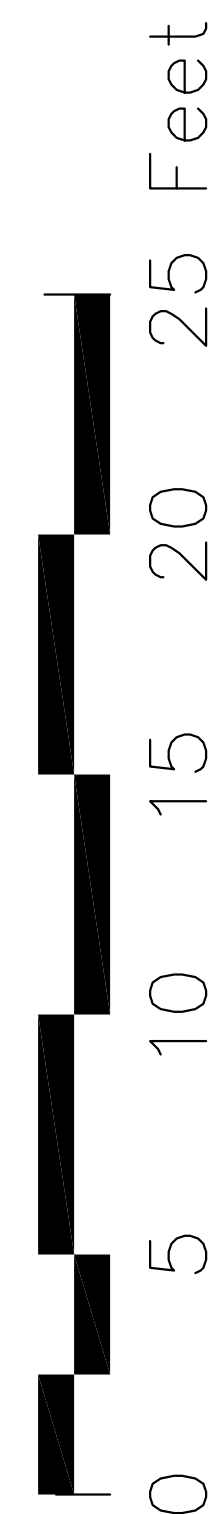
SHEET NO.  
 A-5



Proposed Rear Elevation



Proposed Left Elevation



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EXTERIOR  
 ELEVATIONS

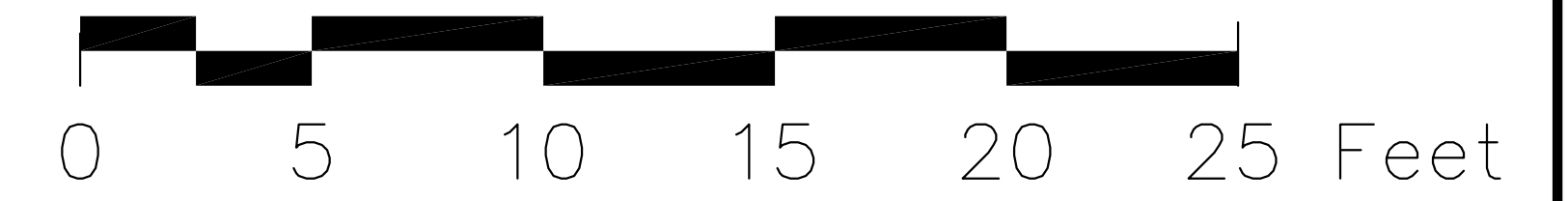
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 6-17-19

SCALE  
 1/4"

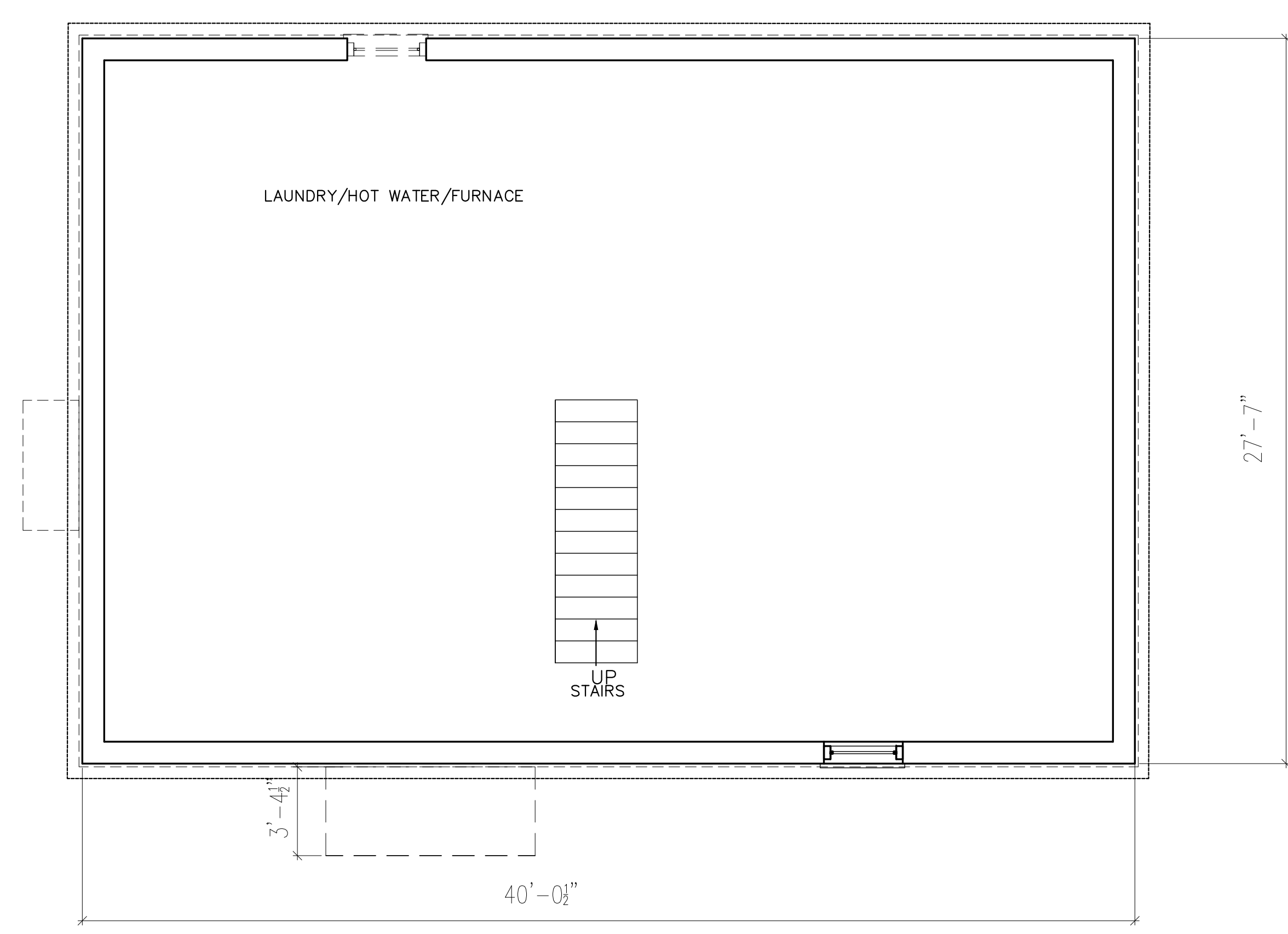
JOB NO.  
 1905

SHEET NO.

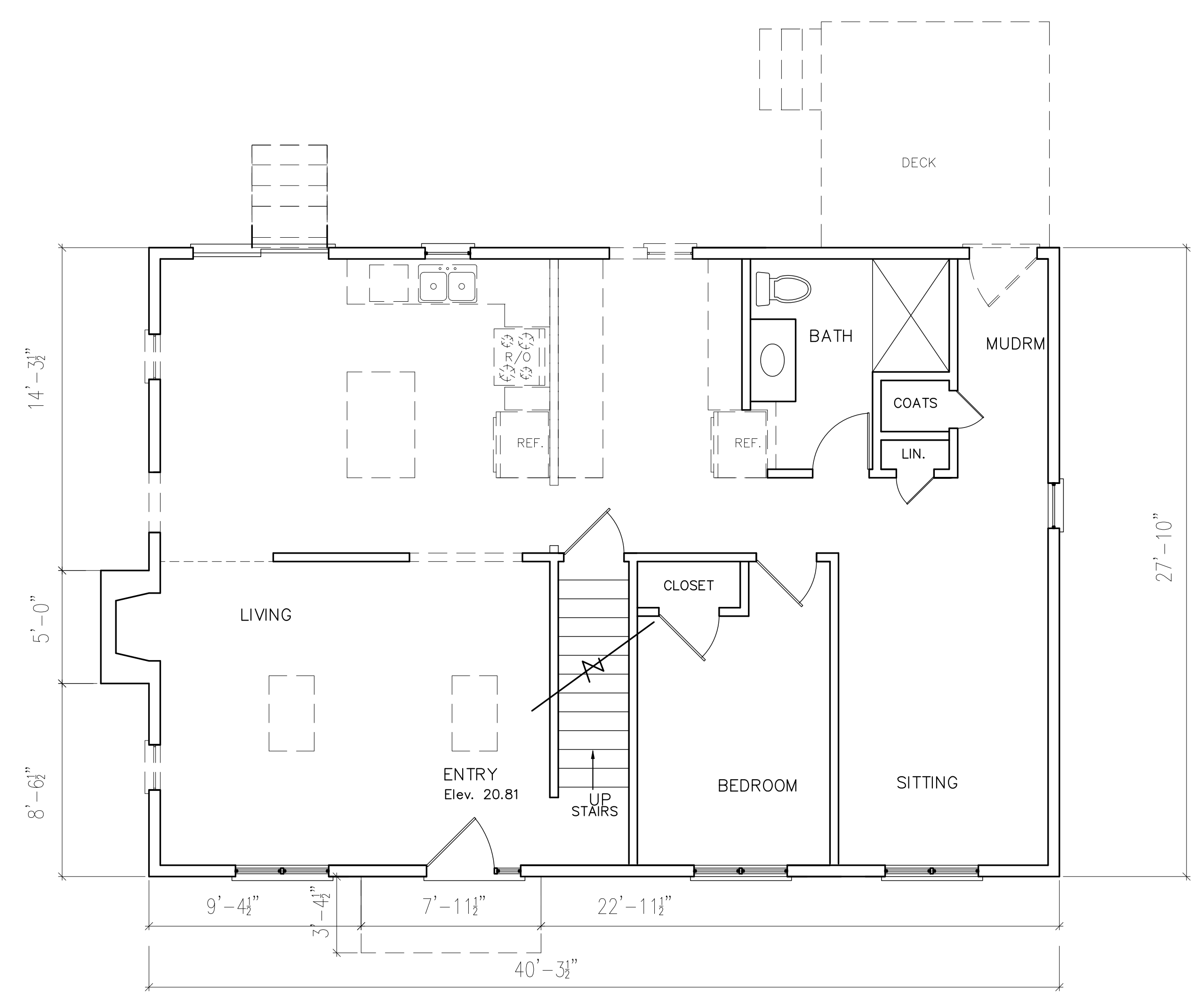
**A-6**



Demolish  
1 Story  
Garage



Cellar Floor Demolition Plan



First Floor Demolition Plan

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EXISTING  
CELLAR &  
FIRST FLOOR  
PLAN

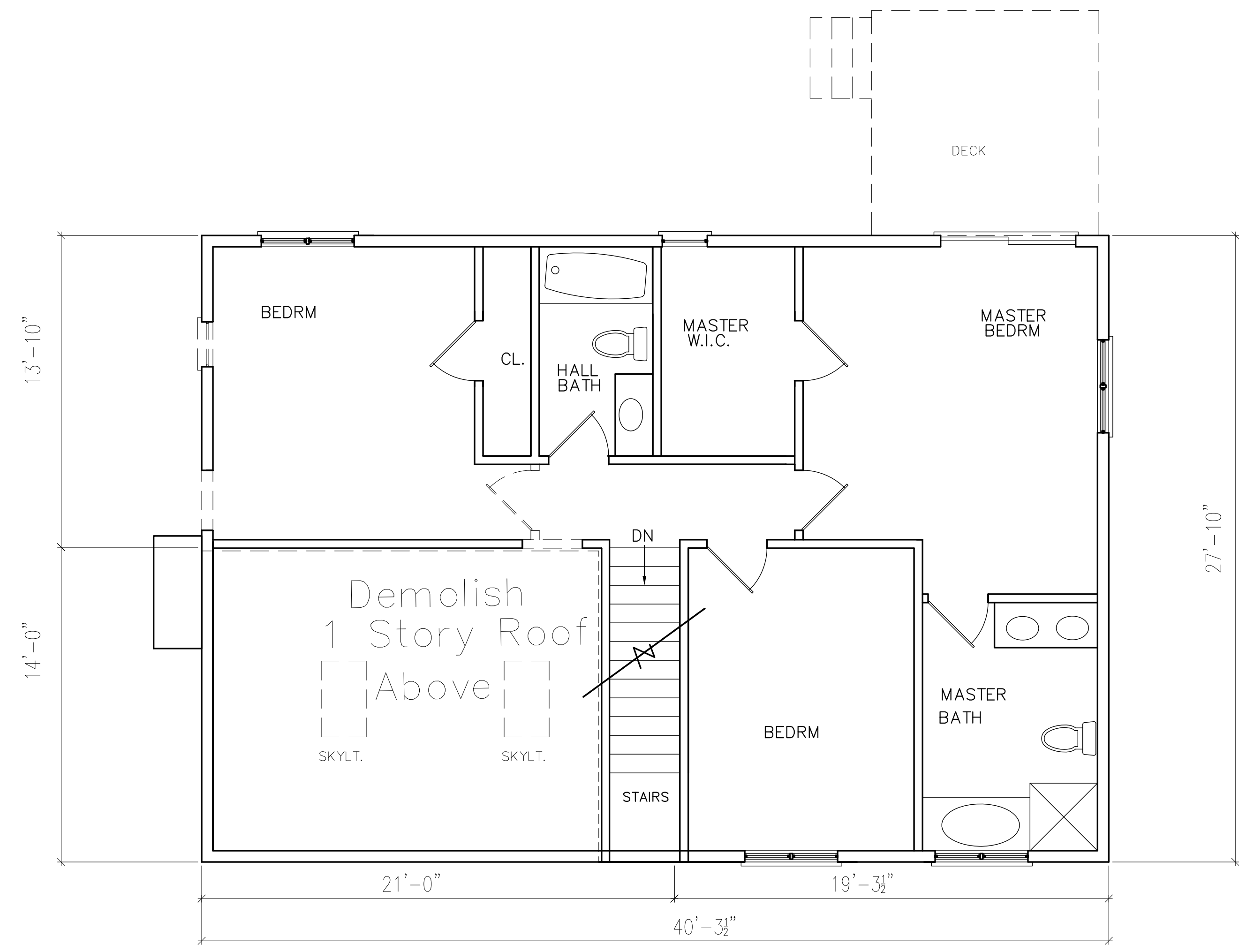
DATE  
6-17-19

SCALE  
1/4"

JOB NO.  
1905

SHEET NO.  
EX-1





Second Floor Demolition Plan

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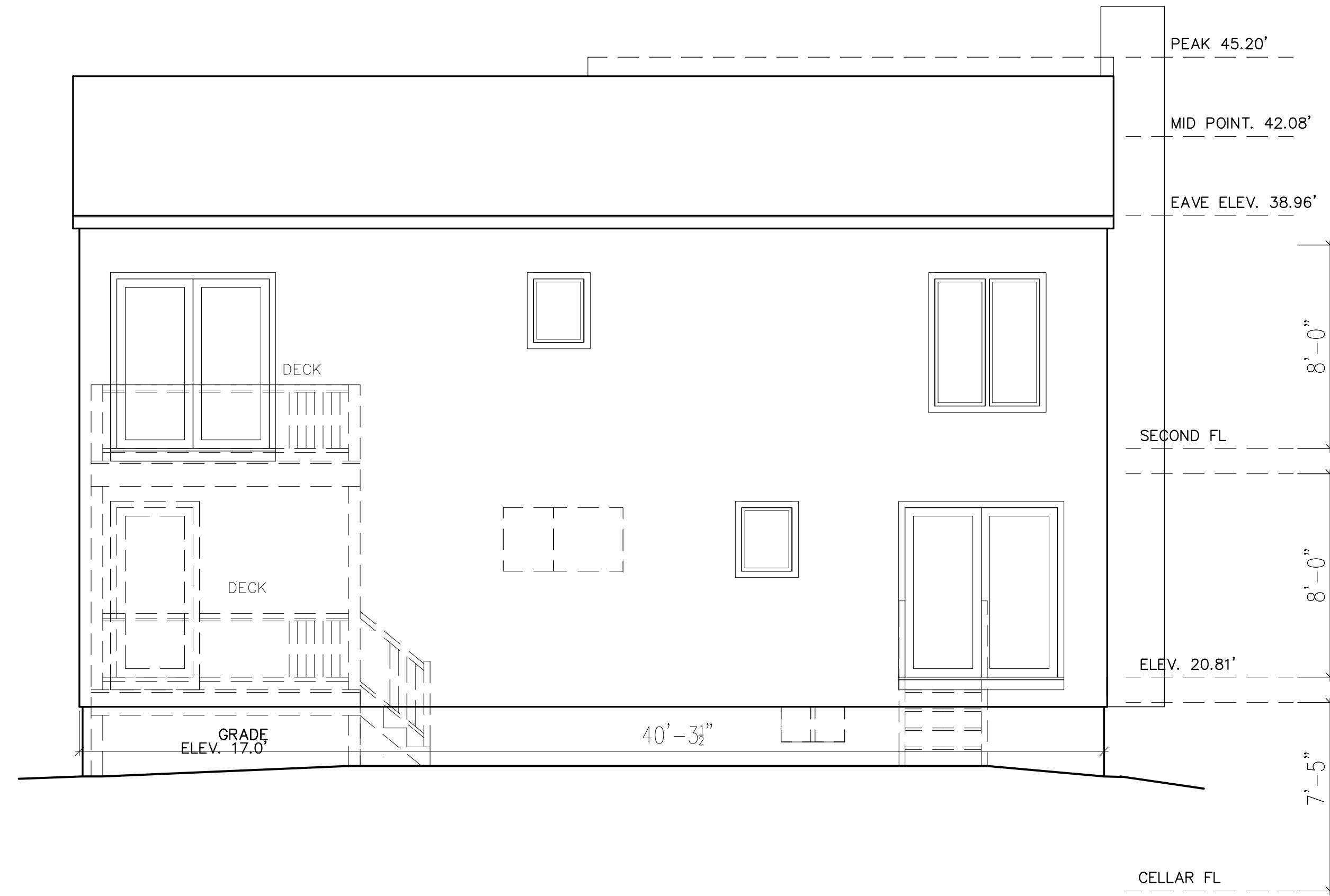
EXISTING  
 SECOND  
 FLOOR PLAN

DATE  
 6-17-19

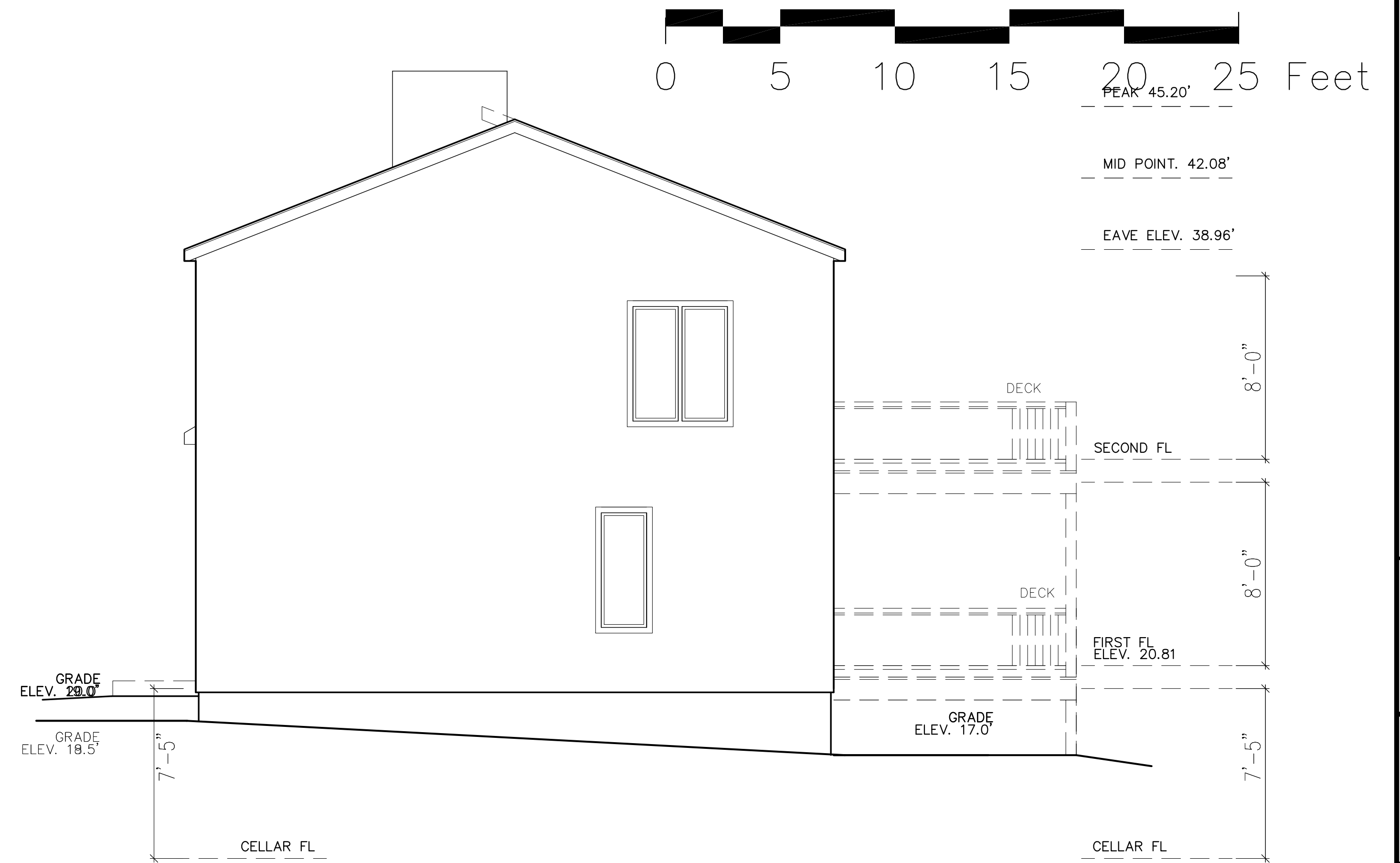
SCALE  
 1/4"

JOB NO.  
 1905

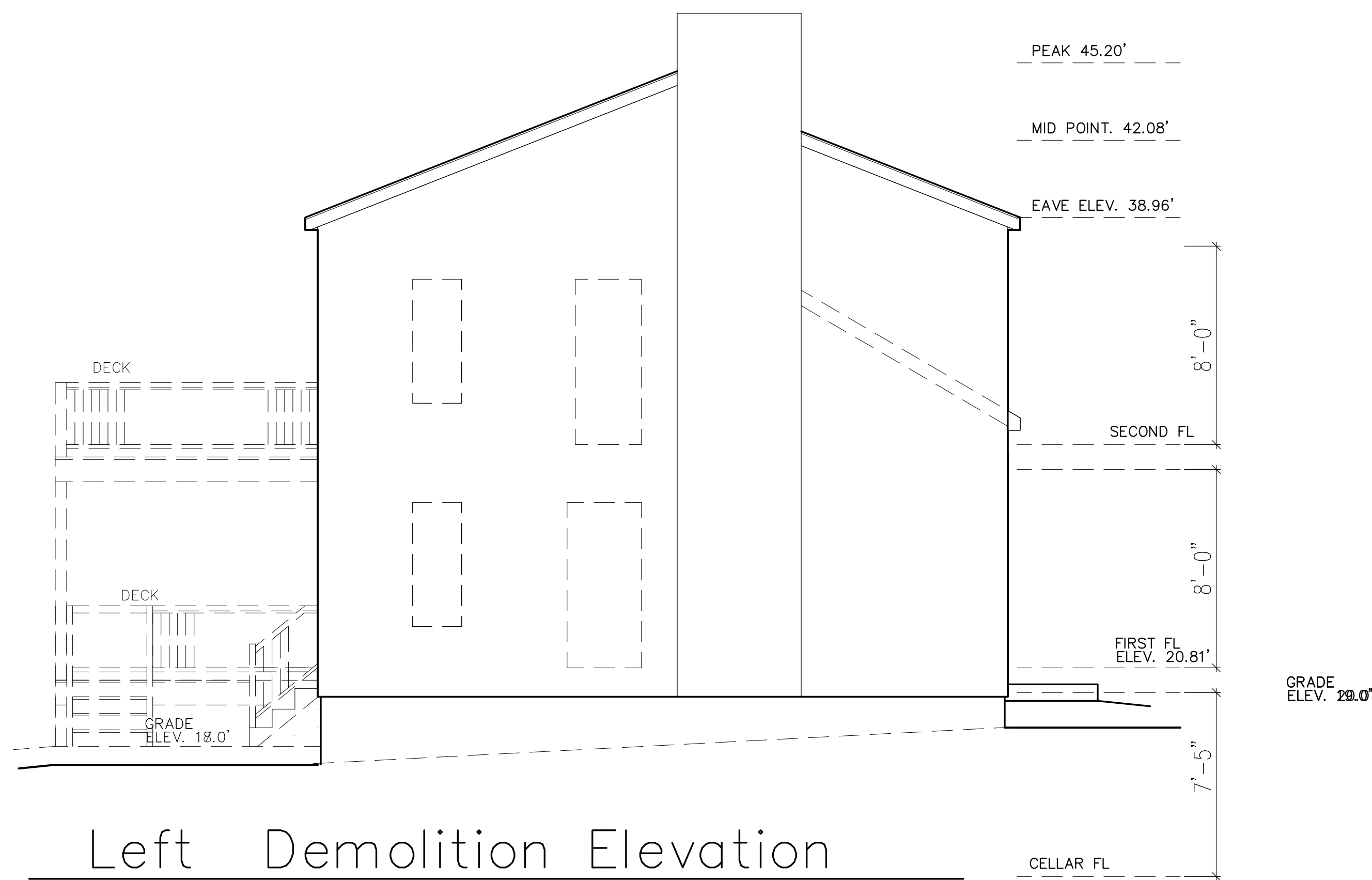
SHEET NO.  
 EX-2



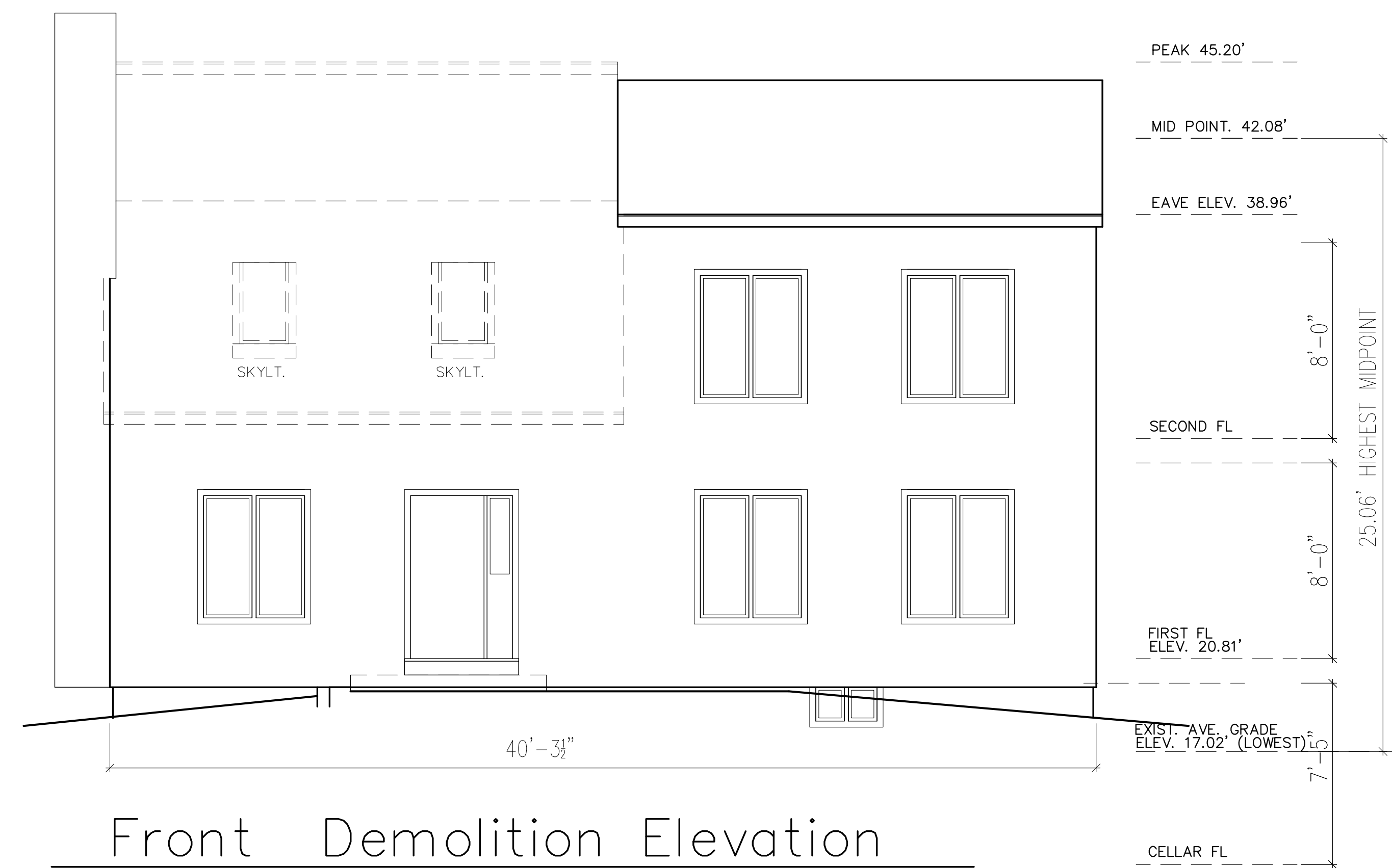
Rear Demolition Elevation



Right Demolition Elevation



Left Demolition Elevation



Front Demolition Elevation

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EXISTING  
 EXTERIOR  
 ELEVATIONS

DATE  
 6-17-19

SCALE  
 1/4"

JOB NO.  
 1905

SHEET NO.  
 EX-3