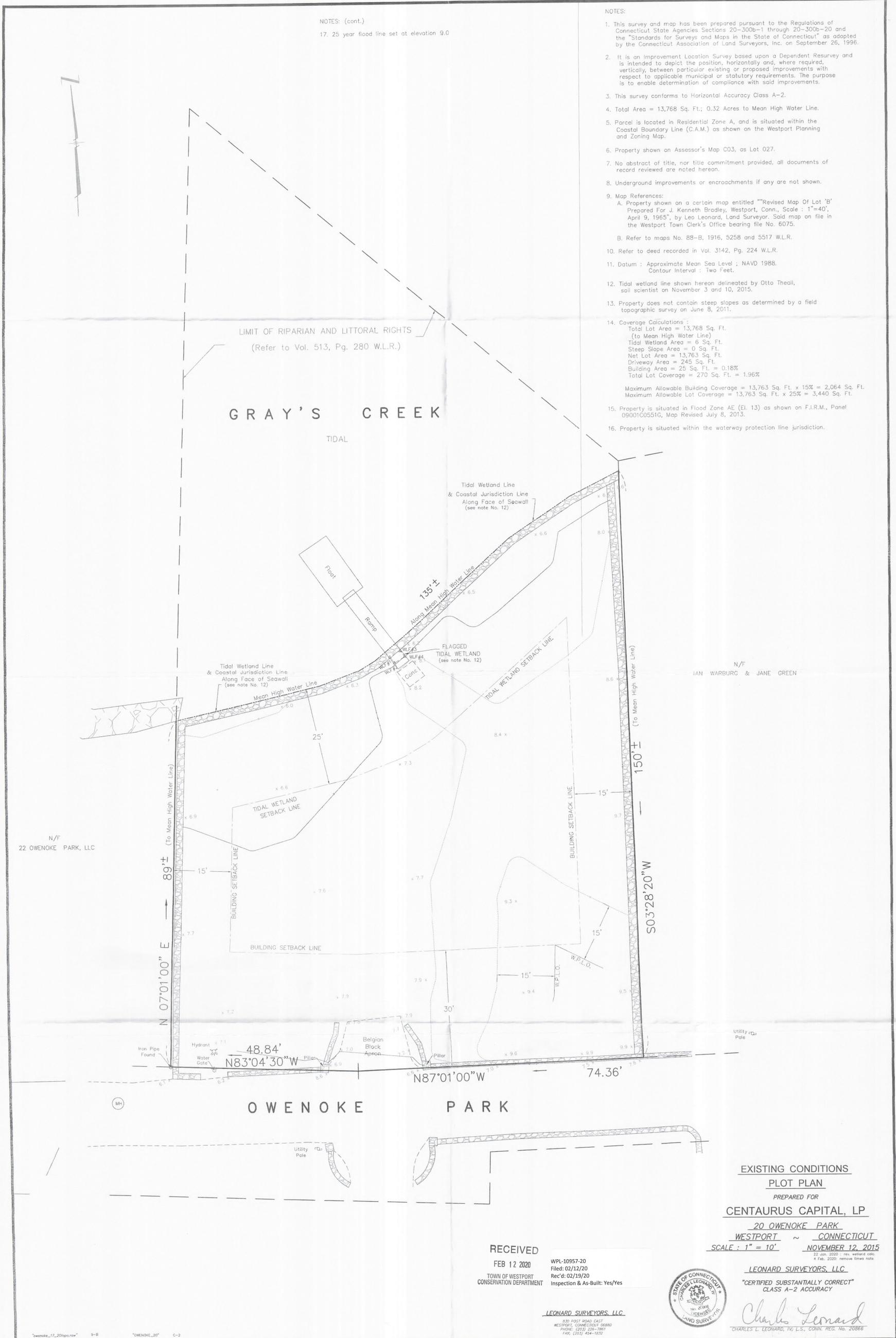


NOTES: (cont.)  
17. 25 year flood line set at elevation 9.0

NOTES:

1. This survey and map has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
2. It is an Improvement Location Survey based upon a Dependent Resurvey and is intended to depict the position, horizontally and, where required, vertically, between particular existing or proposed improvements with respect to applicable municipal or statutory requirements. The purpose is to enable determination of compliance with said improvements.
3. This survey conforms to Horizontal Accuracy Class A-2.
4. Total Area = 13,768 Sq. Ft.; 0.32 Acres to Mean High Water Line.
5. Parcel is located in Residential Zone A, and is situated within the Coastal Boundary Line (C.A.M.) as shown on the Westport Planning and Zoning Map.
6. Property shown on Assessor's Map C03, as Lot 027.
7. No abstract of title, nor title commitment provided, all documents of record reviewed are noted herein.
8. Underground improvements or encroachments if any are not shown.
9. Map References:  
A. Property shown on a certain map entitled "Revised Map Of Lot 'B' Prepared For J. Kenneth Bradley, Westport, Conn., Scale: 1"=40', April 9, 1965", by Leo Leonard, Land Surveyor. Said map on file in the Westport Town Clerk's Office bearing file No. 6075.  
B. Refer to maps No. 88-B, 1916, 5258 and 5517 W.L.R.
10. Refer to deed recorded in Vol. 3142, Pg. 224 W.L.R.
11. Datum: Approximate Mean Sea Level; NAVD 1988. Contour Interval: Two Feet.
12. Tidal wetland line shown herein delineated by Otto Theall, soil scientist on November 3 and 10, 2015.
13. Property does not contain steep slopes as determined by a field topographic survey on June 8, 2011.
14. Coverage Calculations:  
Total Lot Area = 13,768 Sq. Ft. (to Mean High Water Line)  
Tidal Wetland Area = 6 Sq. Ft.  
Steep Slope Area = 0 Sq. Ft.  
Net Lot Area = 13,763 Sq. Ft.  
Driveway Area = 245 Sq. Ft.  
Building Area = 25 Sq. Ft. = 0.18%  
Total Lot Coverage = 270 Sq. Ft. = 1.96%  
Maximum Allowable Building Coverage = 13,763 Sq. Ft. x 15% = 2,064 Sq. Ft.  
Maximum Allowable Lot Coverage = 13,763 Sq. Ft. x 25% = 3,440 Sq. Ft.
15. Property is situated in Flood Zone AE (El. 13) as shown on F.I.R.M., Panel 09001C0551G, Map Revised July 8, 2013.
16. Property is situated within the waterway protection line jurisdiction.



N/F  
22 OWENOKE PARK, LLC

N/F  
IAN WARBURG & JANE GREEN

EXISTING CONDITIONS  
PLOT PLAN

PREPARED FOR  
CENTAURUS CAPITAL, LP  
20 OWENOKE PARK  
WESTPORT, CONNECTICUT  
SCALE: 1" = 10'  
NOVEMBER 12, 2015

RECEIVED  
FEB 12 2020  
TOWN OF WESTPORT  
CONSERVATION DEPARTMENT  
WPI-10957-20  
Filed: 02/12/20  
Rec'd: 02/19/20  
Inspection & As-Built: Yes/Yes

LEONARD SURVEYORS, LLC  
630 POST ROAD EAST  
WESTPORT, CONNECTICUT 06890  
PHONE: (203) 226-7861  
FAX: (203) 454-1032



LEONARD SURVEYORS, LLC  
"CERTIFIED SUBSTANTIALLY CORRECT"  
CLASS A-2 ACCURACY  
Charles Leonard  
CHARLES L. LEONARD, IV, L.S., CONN. REG. NO. 20866