

WESTPORT WESTON HEALTH DISTRICT

180 Bayberry Lane, Westport, CT 06880-2855

Telephone: (203) 227-9571

Fee is non-refundable.

\$ 200⁰⁰ Initials: AF

APPLICATION FOR A BUILDING ADDITION, BUILDING CONVERSION, RENOVATION OR ACCESSORY STRUCTURE

Date: 03/12/2020 Owner's Name: Alana Fuscaldo

Property Address: 16 Manitou Road, Westport Tel. No.: (203) 557-8943
Street Town ZIP

Type of Application: Building Addition Renovation Accessory Structure (Deck, Garage, Porch) Building Conversion, Change in Use (Winterization)

Give a Brief Description of Proposed Application: (Performing winterization; type and number of rooms being added; square footage of house addition, type of structures to be added, and foot print change, etc.)
Construct a detached 2-bay garage on slab

Addition/Renovation: No. of bedrooms: No. of bathrooms: 0 No. water use fixtures 0
Increase in house footprint? Yes No No. of other rooms: No. of tubs more than 99 gal.: Heat? Yes No
Approximate proposed increase in floor area (in Sq. Ft.) Are footing or foundation drains required? Yes No

Existing Structure: Residential Non-Residential (Describe):
No. of bedrooms: 7 No. of bathrooms: No. of oversized tubs (>99 gal.)
Approximate floor area (in Sq. Ft.) Water supply: Private well Public water
Footing or foundation drains present? Yes No

Existing Septic Year system was installed? New Repair Public sewer available? Yes No
Size of septic tank: 2000 gals. Size and type of leaching system: 112' 24" galleries w/ perf. pipe on top
Curtain drain? Yes No Has any soil testing been performed on the property? Yes No
If yes, when and by whom? March 14, 2018, by Kousidis Engineering, LLC
Owner or Duty Authorized Representative (Print) Kousidis Engineering (Jim Kousidis) Contact Phone Number: (203) 557-8943

Signed: 03-12-2020
Owner or Duty Authorized Representative Date

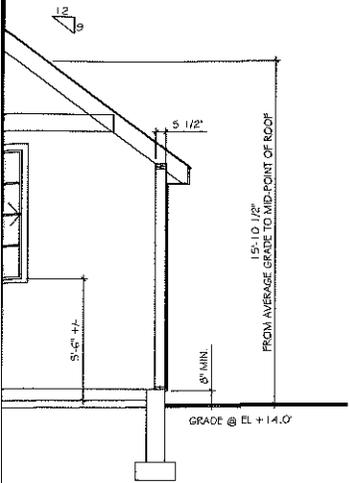
WWHD REMARKS:

- Compliance with 19-13-B100a required..... Yes No
- Soils evaluation required..... Yes No
- Wetlands..... Yes No Don't know
- Possible storm drainage structure required by Engineering..... Yes No
- SSDS proposal required..... Yes No

Comments: No plumbing in garage

APPROVAL: Approved: DATE: 3/19/20

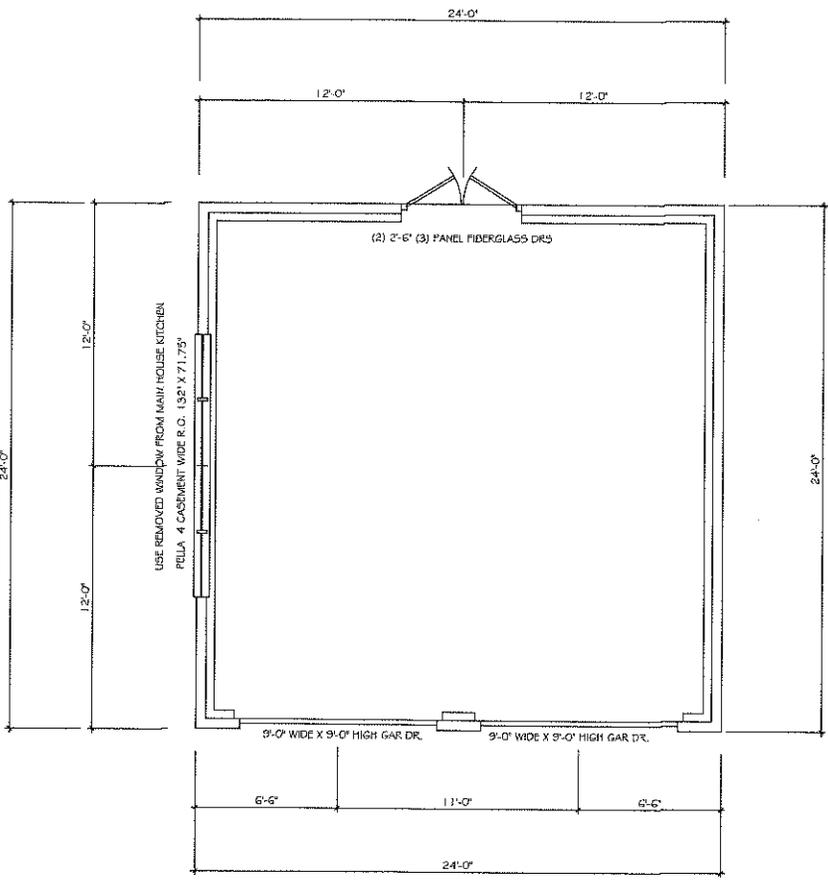
FINAL WWHD INSPECTION REQUIRED AT COMPLETION OF JOB		Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Final Inspection	Final Inspection/Final Approval: <u> </u>	Sanitarian	Date



Detached Garage

PLANNING	DATE	SCALE	REFERENCE
DESIGN	3/19/20	JHL	
REVISION			
CONSTRUCTION			
ENGINEERING			
P&T			

SECTION
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0"

DETACHED GARAGE		designed and copyrighted by:
16 MANITOU ROAD		PATRICIA MAILHOT MILLER
WESTPORT, CT. 06880		Residential Design LLC
FLOOR AND ROOF PLANS		318 Good Hill Road, Weston, CT 06883
2018-07		(203) 227-7333 PMMArch@optonline.net
scale:	date:	revisions:
1/4" = 1'-0"	1/08/2019	
drawn by:	PM	

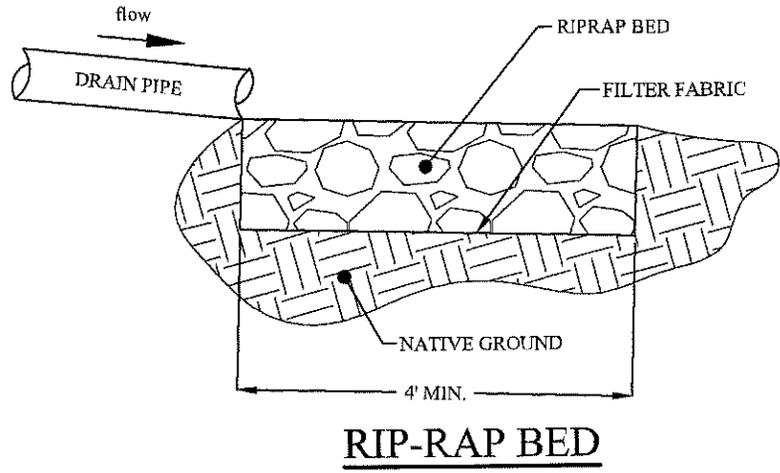
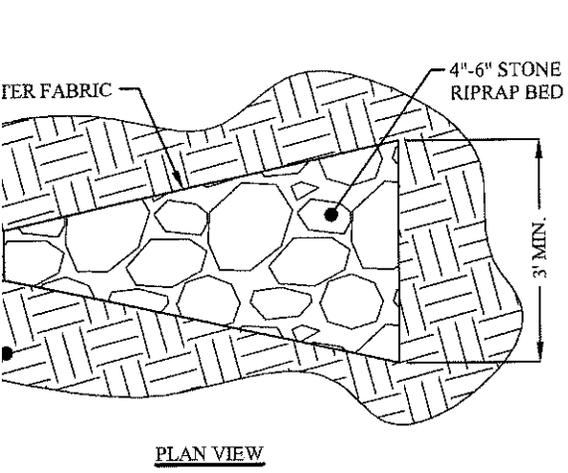
CONSTRUCTION, THE CONTRACTOR SHALL STAKE THE AREA OF THE PROPOSED SEWAGE DISPOSAL SYSTEM AND THE ADJACENT PROPERTY LINES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE WESTPORT-WESTON HEALTH DISTRICT WHEN STAKING HAS BEEN COMPLETED SO THAT AN APPROVAL OF THE STAKING CAN BE MADE.

THE SEWAGE DISPOSAL SYSTEM HAS BEEN INSTALLED ALL DISTURBED AREAS SHALL BE RESTORED TO THEIR PRE-CONSTRUCTION CONDITION OR BETTER. SOIL ON THE PLAN, TOPSOILED, FINE RAKED AND SEEDED.

DESIGN CONFORMS TO APPLICABLE CODES AND ACCEPTED PRACTICE. NO OTHER WARRANTY IS EXPRESSED OR IMPLIED.

THIS DESIGN DOES NOT ACCOUNT FOR LARGE TUBS WITH CAPACITY OVER 99 GALLONS.

THE ENGINEER MUST PREPARE THE "SEPTIC AS-BUILT PLAN", THUS THE ENGINEER MUST BE NOTIFIED TO INSPECT ALL ASPECTS OF THE NEW SEPTIC SYSTEM PRIOR TO SEPARATION AND INSTALLATION.



WESTPORT WESTON HEALTH DISTRICT
The Engineer of Record
Jim Koussidis
I shall certify to the Health District, in writing, that the sewage disposal system has been installed in accordance with the plans submitted and approved

RIPRAP SIZING (TYPE B)	
FLOW VELOCITY:	5.67 ft/s
PIPE DIAMETER:	6 in
PIPE AREA:	0.785 sf
FLOW RATE:	4.46 cfs
$L_s = ((3.0(Q-5))/D^{1.5}) + 10$	3.59 ft
$W_1 = 3 * D$	1.5 ft
$W_2 = 3 * D + 0.4 * L_s$	2.64 ft

NOTE: CALCULATIONS FROM ConnDOT DRAINAGE MANUAL, MAY, 2002.

N.T.S.

New House Pool Garage

New Septic

DATE	BY	REVISION
3/12/20	JHL	

SITE DEVELOPMENT PLAN

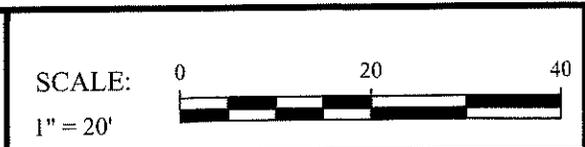
16 MANITOU ROAD
WESTPORT, CT

Prepared for
ALANA FUSCALDO

ALL EXISTING AND PROPOSED SEWAGE DISPOSAL AREAS SHOULD BE ADEQUATELY FIELD LOCATED AND MARKED TO KEEP VEHICULAR AND EQUIPMENT TRAFFIC OUT OF THESE AREAS

Jim Koussidis
JIM KOUSIDIS CT. P.E. 26830
3/12/20
DATE

This document and copies thereof are valid only if they bear the signature and embossed seal of the designated licensed professional.



DATED: 03/12/2020
JOB NO.: AF17-1
SHEET NO: 1 of 1



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