

# ASSESSOR'S MAP

FROM TOWN OF WESTPORT ASSESSOR'S MAP NUMBER B02

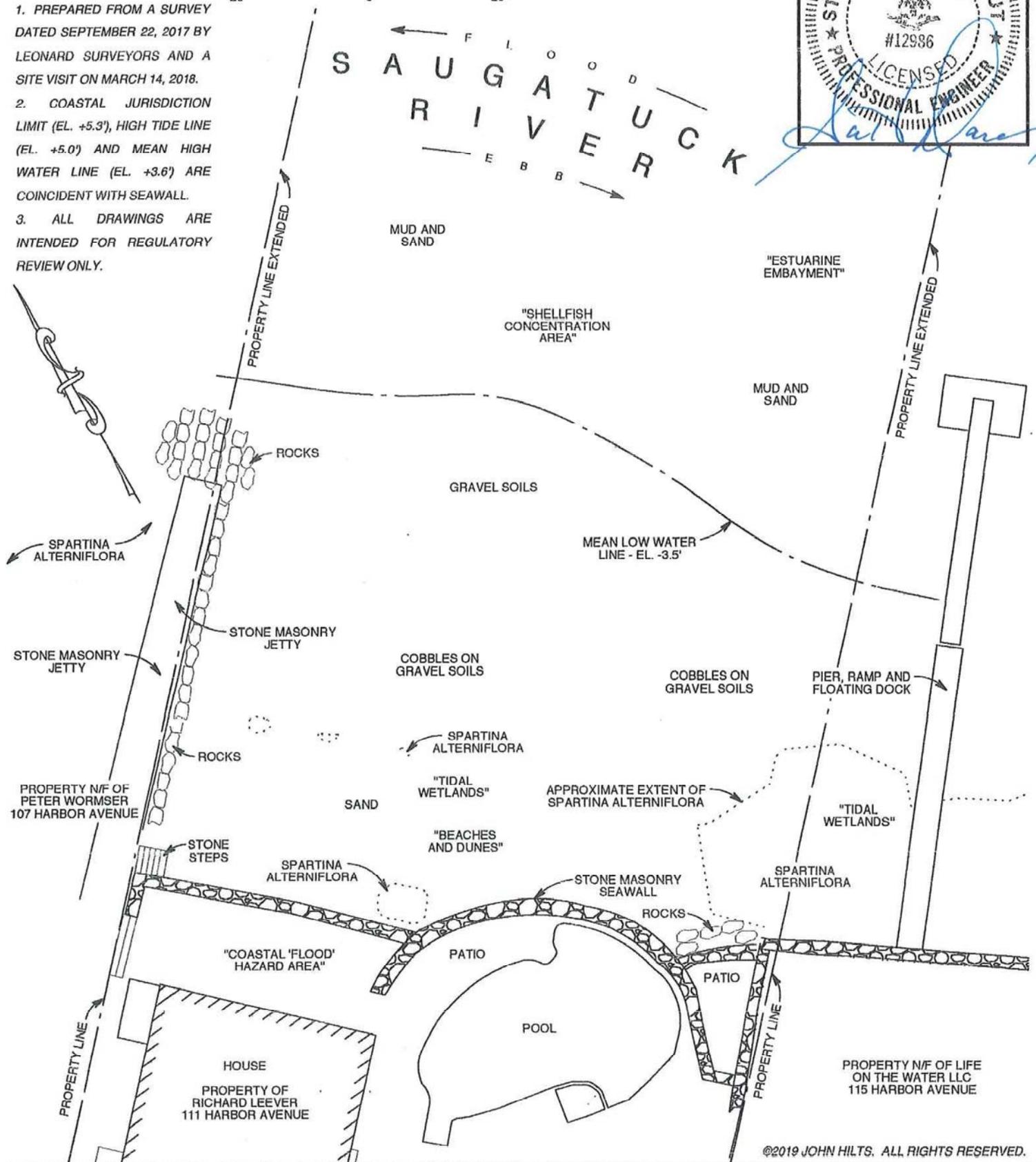
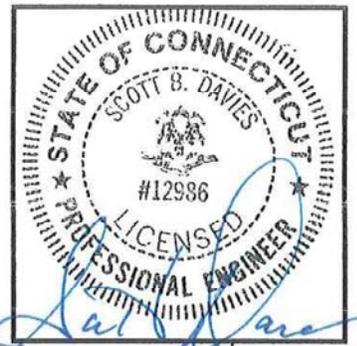
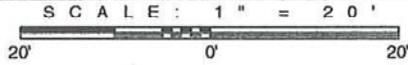
LOT NO. 142

<p>PURPOSE: PRIVATE RECREATIONAL BOAT DOCKING          DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988          ADJACENT PROPERTY OWNERS: PETER WORMSER, LIFE ON THE WATER, LLC          APPLICATION PREPARED BY: JOHN HILTS P.O. BOX 47, ROWAYTON, CT 06853</p>	<p>PROPOSED PIER, RAMP AND FLOATING DOCK IN THE SAUGATUCK RIVER AT 111 HARBOR ROAD, WESTPORT, FAIRFIELD COUNTY, CONNECTICUT          APPLICATION BY: MR. RICHARD LEEVER          DATE: 6/21/18 SHEET 2 OF 5 REVISION NUMBER: DATE:</p>
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# EXISTING GENERAL PLAN VIEW

**NOTES:**

1. PREPARED FROM A SURVEY DATED SEPTEMBER 22, 2017 BY LEONARD SURVEYORS AND A SITE VISIT ON MARCH 14, 2018.
2. COASTAL JURISDICTION LIMIT (EL. +5.3'), HIGH TIDE LINE (EL. +5.0') AND MEAN HIGH WATER LINE (EL. +3.6') ARE COINCIDENT WITH SEAWALL.
3. ALL DRAWINGS ARE INTENDED FOR REGULATORY REVIEW ONLY.

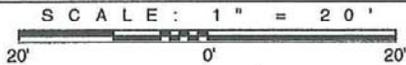


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**PURPOSE:** PRIVATE RECREATIONAL BOAT DOCKING  
**DATUM:** NORTH AMERICAN VERTICAL DATUM OF 1988  
**ADJACENT PROPERTY OWNERS:** PETER WORMSER, LIFE ON THE WATER, LLC  
**APPLICATION PREPARED BY:** JOHN HILTS P.O. BOX 47, ROWAYTON, CT 06853

**PROPOSED PIER, RAMP AND FLOATING DOCK IN THE SAUGATUCK RIVER AT 111 HARBOR ROAD, WESTPORT, FAIRFIELD COUNTY, CONNECTICUT**  
**APPLICATION BY:** MR. RICHARD LEEVER  
**DATE:** 6/21/18 **SHEET 3 OF 5** **REVISION NUMBER:** 1 **DATE:** 9/09/19

# PROPOSED GENERAL PLAN VIEW



S A U G A T U C K  
R I V E R



160± TO CENTER OF NATURAL CHANNEL

8' BY 20' TIMBER FLOATING DOCK

BERTHING FOR POWERBOAT (30' LONG/10' BEAM/30" DRAFT) - SHOWN FOR ILLUSTRATIVE PURPOSES ONLY

26'  
82' TO DOCK

FLOAT ANCHOR PILINGS - 3 TOTAL

3.5' BY 34' ALUMINUM RAMP

PROP. LINE EXTENDED

MUD AND SAND

MUD AND SAND

PROPERTY LINE EXTENDED

ROCKS

GRAVEL SOILS

MEAN LOW WATER LINE - EL. -3.5'

4' BY 80' PILING-SUPPORTED TIMBER PIER

SPARTINA ALTERNIFLORA

COBBLES ON GRAVEL SOILS

COBBLES ON GRAVEL SOILS

PIER, RAMP AND FLOATING DOCK

STONE MASONRY JETTY

APPROXIMATE EXTENT OF SPARTINA ALTERNIFLORA

PROPERTY N/F OF PETER WORMSER 107 HARBOR AVENUE

SAND

REMOVABLE 42" BY 6" ALUMINUM STEPS

SAND

STONE STEPS

STONE MASONRY SEAWALL TO BE REPOINTED

SPARTINA ALTERNIFLORA

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1. COASTAL JURISDICTION LIMIT, HIGH TIDE LINE AND MEAN HIGH WATER LINE ARE COINCIDENT WITH SEAWALL.
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PATIO

POOL

PATIO

HOUSE

PROPERTY OF RICHARD LEEVER 111 HARBOR AVENUE

PROPERTY N/F OF LIFE ON THE WATER LLC 115 HARBOR AVENUE

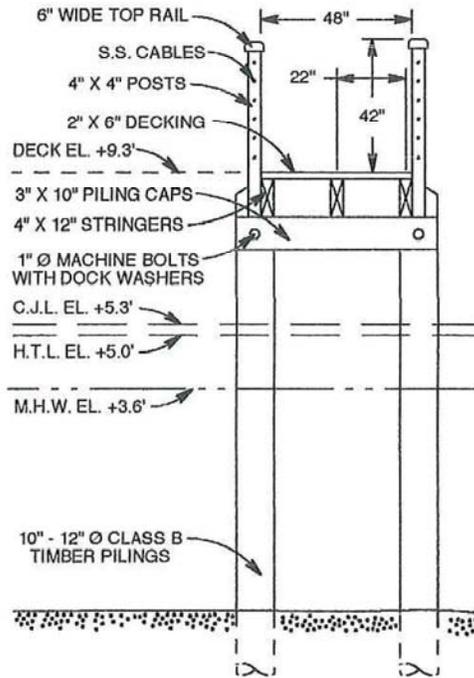
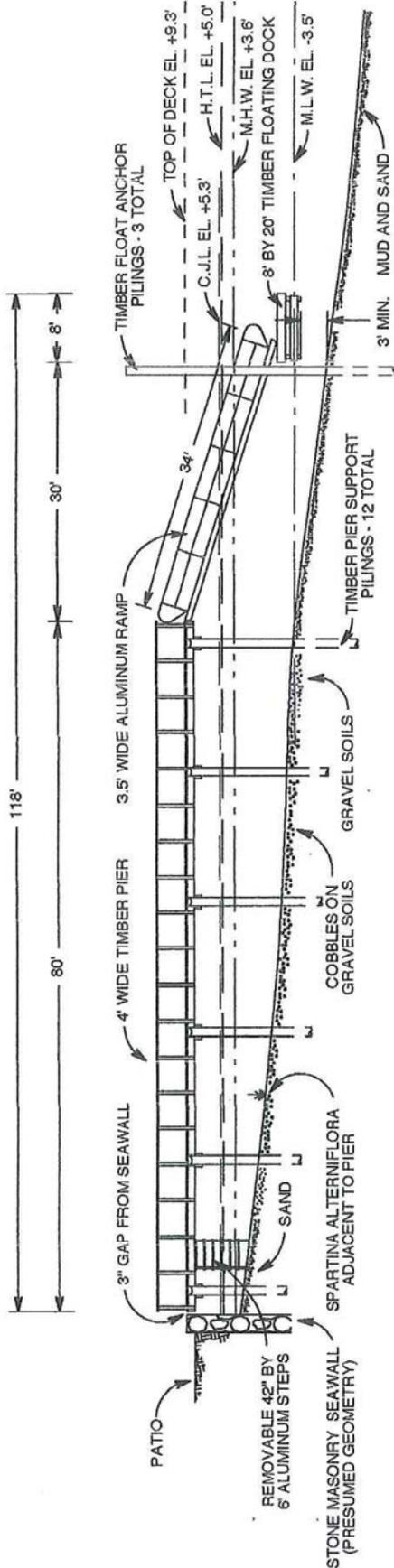
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# PROPOSED SOUTH ELEVATION

SCALE: 1" = 20'



SCALE: 1" = 5'

# PROPOSED PIER SECTION

NOTE: DRAWING IS INTENDED FOR REGULATORY REVIEW ONLY.

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