

1 LOWER LEVEL PLAN  
SCALE: 1/8" = 1'-0"

FLOOD VENT CALCULATIONS:  
ENCLOSED AREA: 1,296 SQUARE FEET  
1,296 SQUARE INCHES OF VENTILATION REQUIRED /  
200 SQUARE INCHES PROVIDED PER VENT = 7 VENTS

DRAWING NOTES

- 1.0 CONTRACTOR SHALL NOT SCALE DRAWINGS. ALL DIMENSIONS SHALL BE ASSUMED UNTIL VERIFIED IN FIELD. IF DIMENSIONS ARE MISSING OR DO NOT CORRESPOND WITH DRAWINGS OR ACTUAL FIELD CONDITIONS, CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING OR ORDERING MATERIALS.
- 2.0 TYPICAL FOUNDATION WALL TO BE 10" POURED CONCRETE WITH (1) #5 REBAR WITHIN 12" OF TOP OF WALL AND (1) #5 AT EACH THIRD POINT OF THE TOTAL WALL HEIGHT. BOTTOM OF WALL TO SIT ON 24" W x 42" DEEP POURED CONCRETE FOOTING W/ 2 x 4 KEY.
- 3.0 TYPICAL STOOP: PROVIDE CONCRETE FOOTING PAD WITH 8" C.M.U. FOR STEPS.
- 4.0 GENERAL CONTRACTOR SHALL COORDINATE ARCHITECTURAL DRAWINGS WITH STRUCTURAL DRAWINGS.

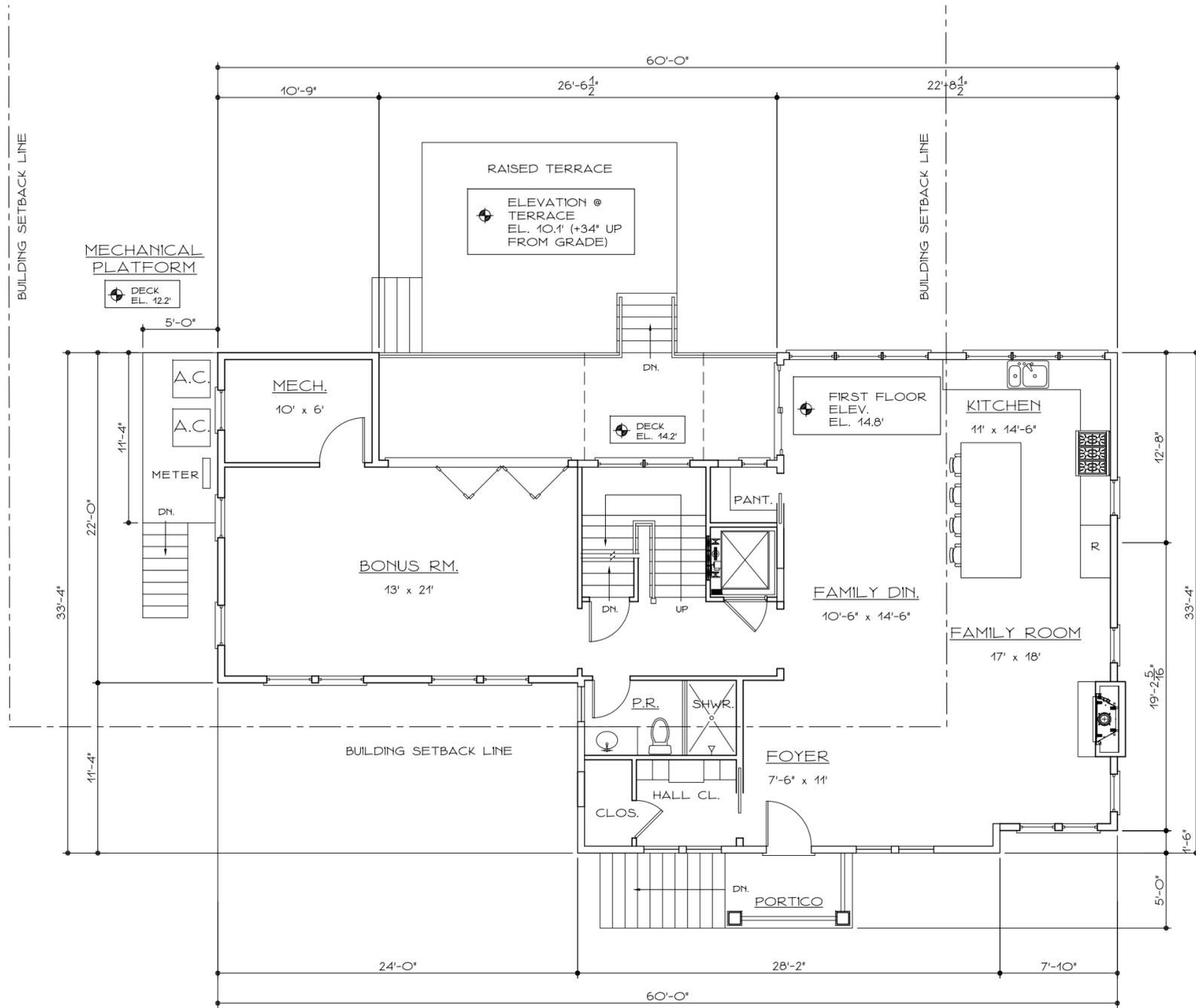
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DRAWINGS ISSUED FOR ZONING REVIEW ONLY

8 JUNE 2020

NOT FOR CONSTRUCTION

ADDITIONS AND RENOVATIONS FOR:		
GRAYBILL RESIDENCE		
7 BRADLEY STREET WESTPORT, CT		
LOWER LEVEL PLAN		
DATE	SCALE	DRAWING NO.
	1/8" = 1'-0"	A-0
	JOB NO.	
	030120	
Donald William Fairbanks Architect, P.C.		
762 Kings Highway West Southport CT 06890		
203 . 345 . 6307		



1 | FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

DRAWING NOTES

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- 2.0 ALL INTERIOR WALLS ARE TO BE 2 x 4 # ALL EXTERIOR WALLS SHALL BE 2 x 6 EXCEPT WHERE NOTED.
- 3.0 ALL WINDOW AND DOOR HEADERS AT LOAD BEARING WALLS SHALL BE (2) 2 x 10'S (4'-0" OR LESS OPENING) UNLESS NOTED OTHERWISE
- 4.0 GENERAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY WEATHER PROTECTION REQUIRED IN ORDER TO MAINTAIN THE STRUCTURE AS WEATHER-TIGHT.
- 5.0 GENERAL CONTRACTOR SHALL COORDINATE ARCHITECTURAL DRAWINGS WITH STRUCTURAL DRAWINGS.

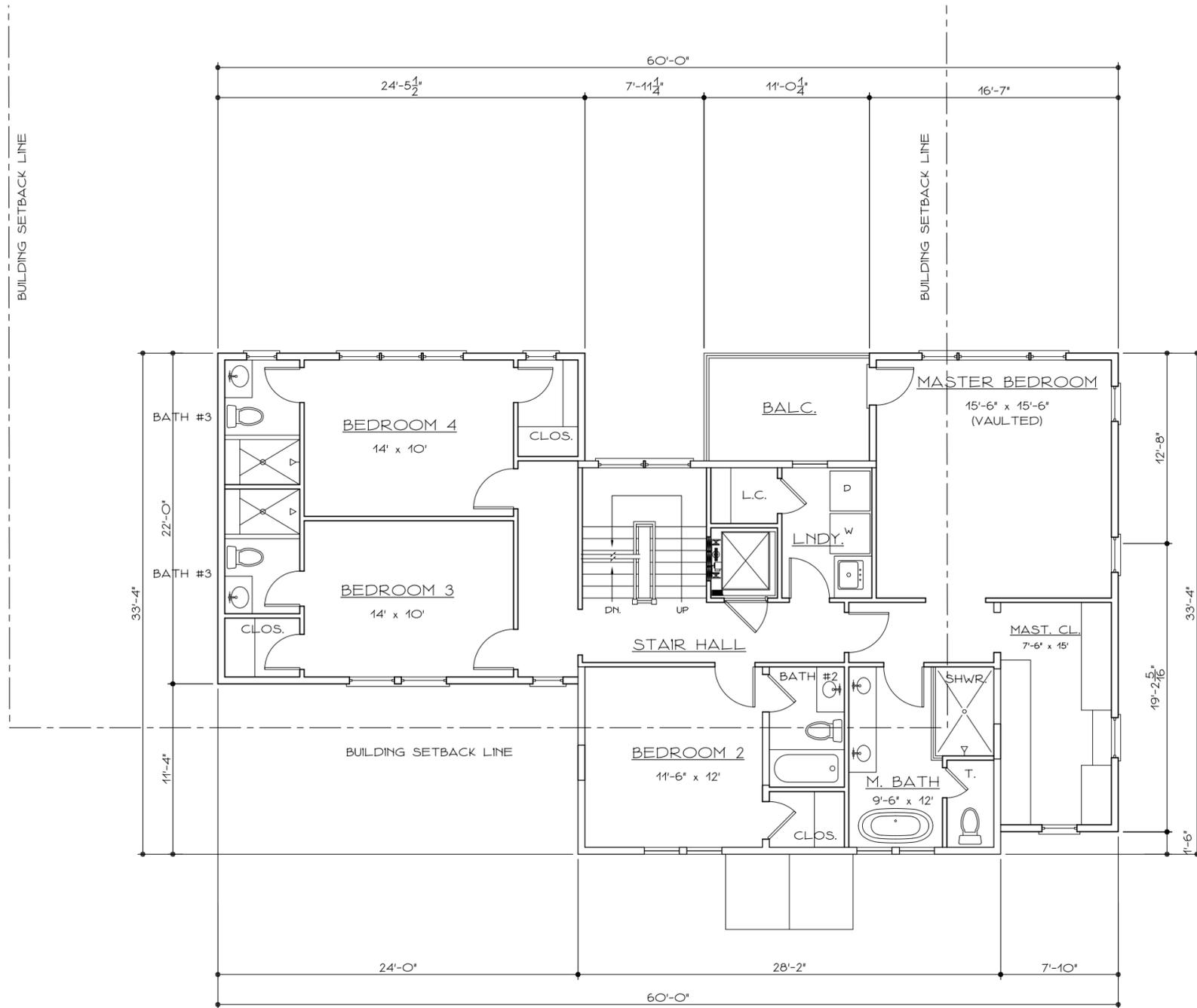
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GRAYBILL RESIDENCE		
7 BRADLEY STREET WESTPORT, CT		
FIRST FLOOR PLAN		
DATE	SCALE	DRAWING NO.
	1/8" = 1'-0"	A-1
	JOB NO	
	030120	
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1 | SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

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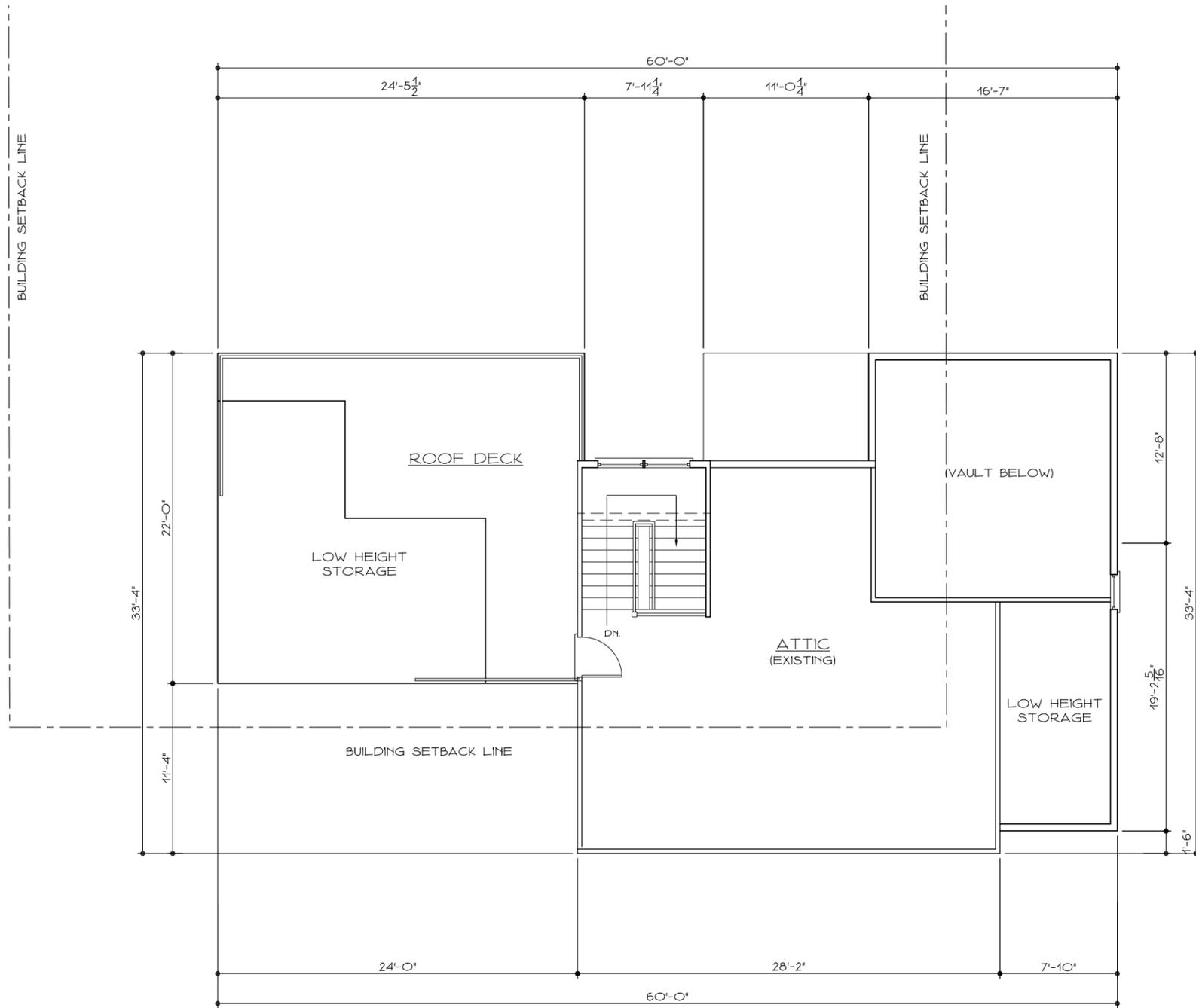
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ADDITIONS AND RENOVATIONS FOR:		
GRAYBILL RESIDENCE		
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SECOND FLOOR PLAN		
DATE	SCALE	DRAWING NO.
	1/8" = 1'-0"	A-2
	JOB NO.	
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1 | UPPER LEVEL FLOOR PLAN  
SCALE: 1/8" = 1'-0"

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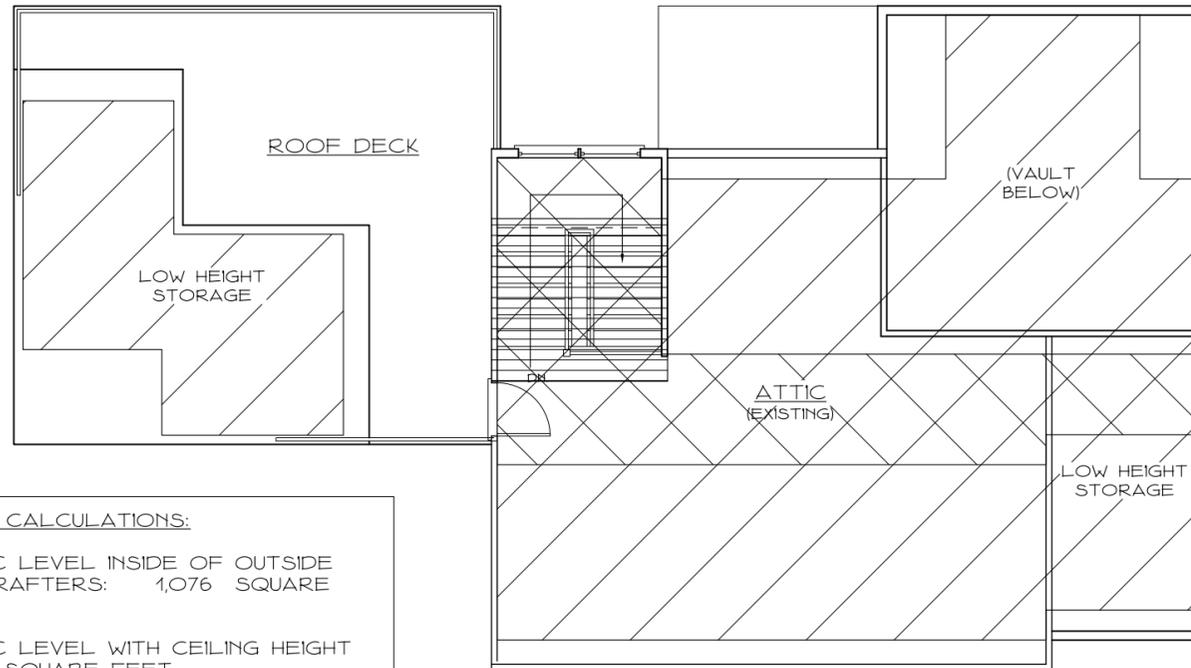
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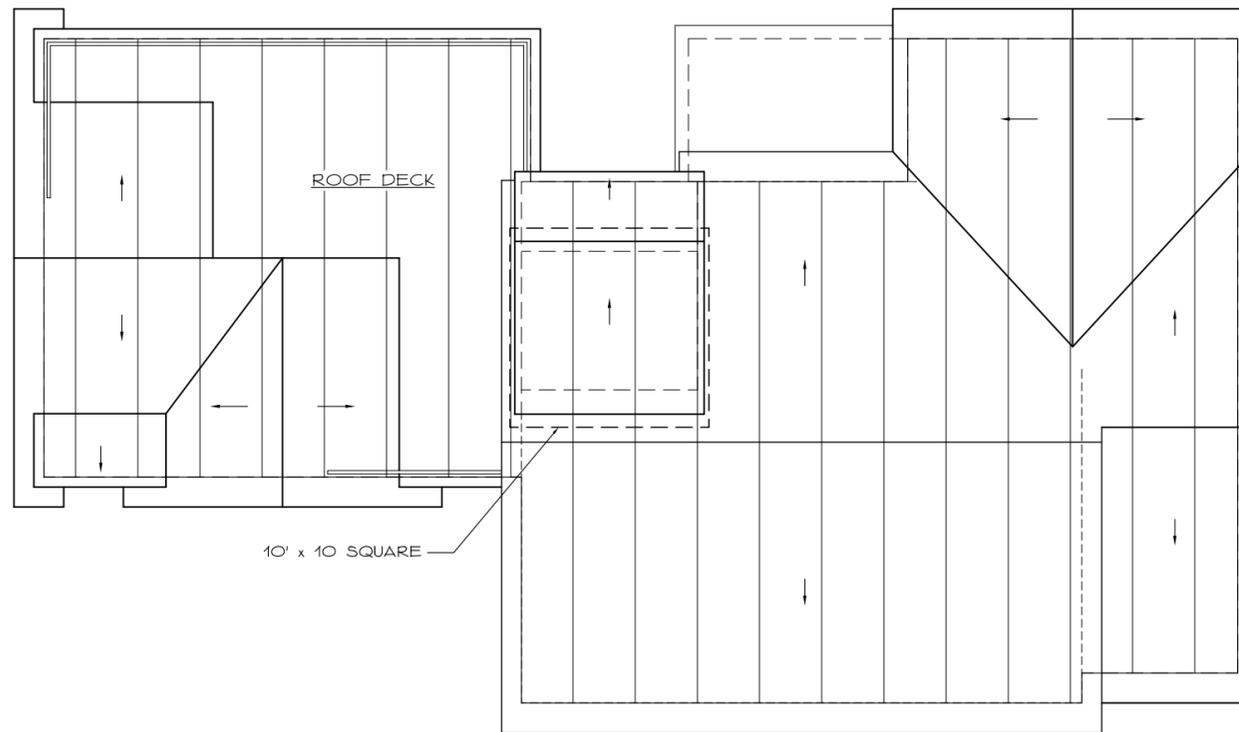
ADDITIONS AND RENOVATIONS FOR:		
GRAYBILL RESIDENCE		
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UPPER LEVEL FLOOR PLAN		
DATE	SCALE	DRAWING NO
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**ATTIC STORY & CUPOLA CALCULATIONS:**

	FLOOR SPACE OF ATTIC LEVEL INSIDE OF OUTSIDE WALLS & UNDER ROOF RAFTERS: 1,076 SQUARE FEET
	FLOOR SPACE OF ATTIC LEVEL WITH CEILING HEIGHT OF 5'-6" OR MORE: 265 SQUARE FEET
	PERCENTAGE OF ATTIC FLOOR SPACE ABOVE 5'-6" CEILING HEIGHT: $(265 / 1,076) = 24.4\%$
	AREA OF ROOF: 1,580 SQUARE FEET
	AREA OF CUPOLA: 72 SQUARE FEET (7'-8" x 8'-10") $(72 / 1,580) = 4.6\%$ LESS THAN 5% & 100 SQUARE FEET

1 | ATTIC CALCULATION PLAN  
SCALE: 1/8" = 1'-0"



2 | ROOF AREA CALCULATION PLAN  
SCALE: 1/8" = 1'-0"

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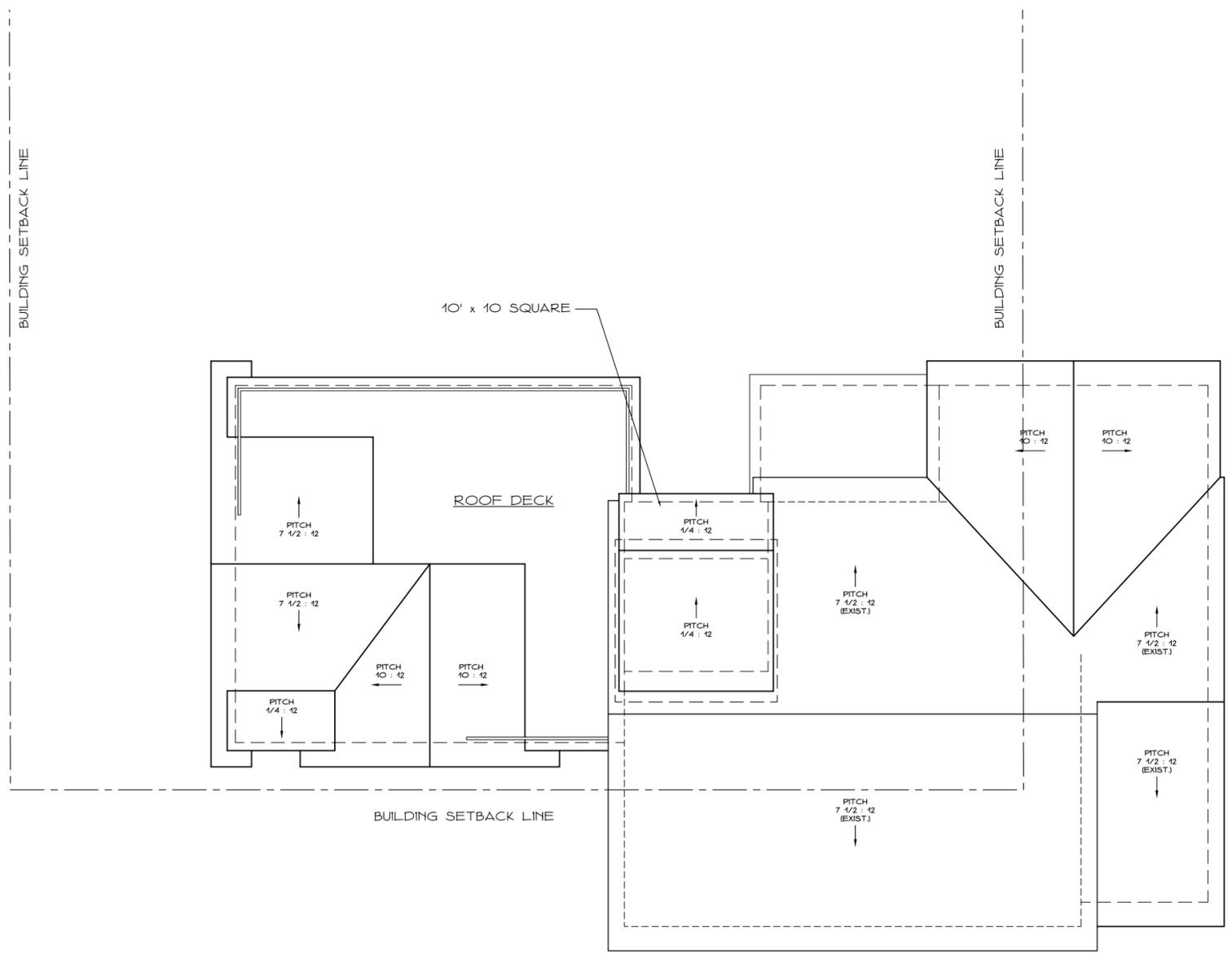
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ADDITIONS AND RENOVATIONS FOR:		
GRAYBILL RESIDENCE		
7 BRADLEY STREET WESTPORT, CT		
ATTIC CALCULATION PLAN		
DATE	SCALE	DRAWING NO
	1/8" = 1'-0"	A-4
	JOB NO	
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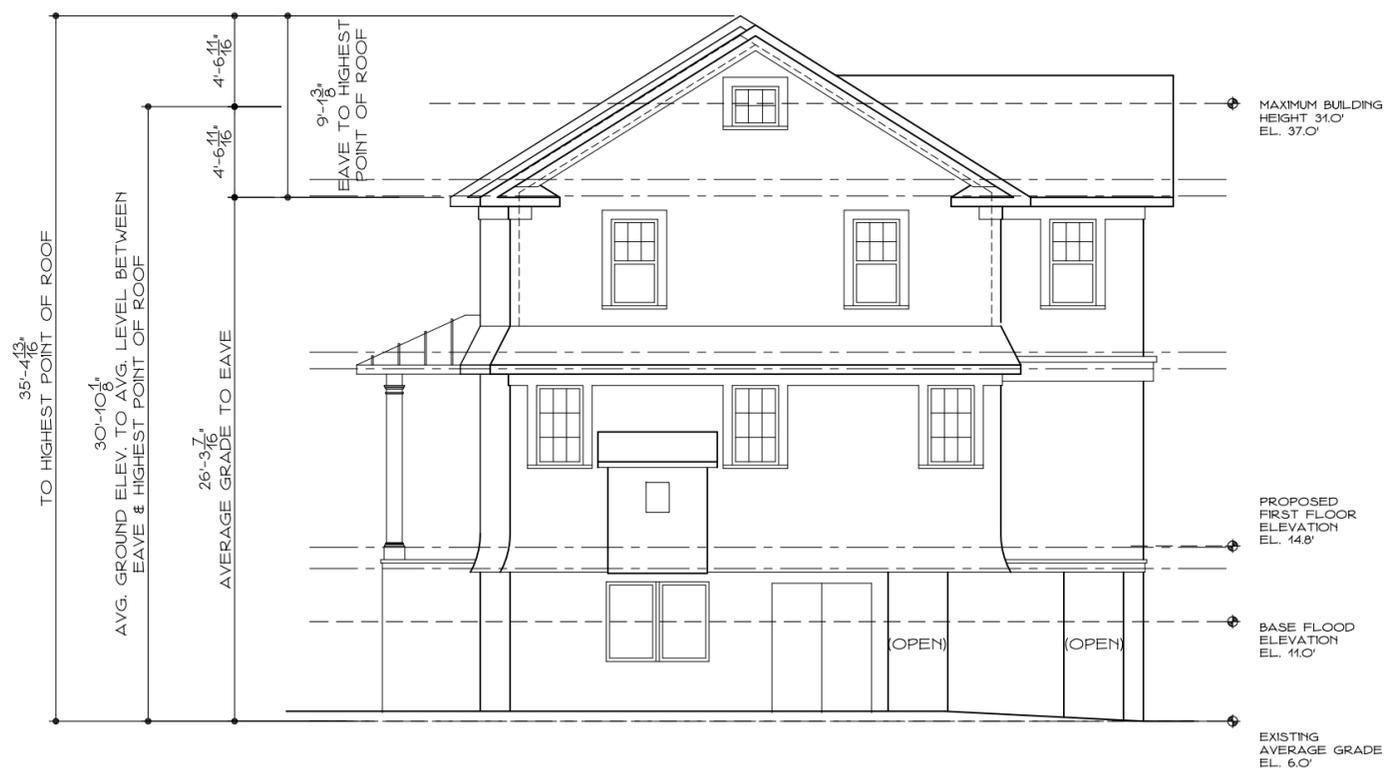
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1 | ROOF PLAN  
SCALE: 1/8" = 1'-0"

ADDITIONS AND RENOVATIONS FOR:		
GRAYBILL RESIDENCE		
7 BRADLEY STREET WESTPORT, CT		
ROOF PLAN		
DATE	SCALE	DRAWING NO
	1/8" = 1'-0"	A-5
	JOB NO	
	030120	
Donald William Fairbanks Architect, P.C.		
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203 . 345 . 6307		



**A** FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



**B** SIDE (FAIRFIELD) ELEVATION  
SCALE: 1/8" = 1'-0"

**DRAWING NOTES**

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ADDITIONS AND RENOVATIONS FOR:		
GRAYBILL RESIDENCE		
7 BRADLEY STREET WESTPORT, CT		
ELEVATIONS		
DATE	SCALE	DRAWING NO
	1/8" = 1'-0"	<b>A-6</b>
	JOB NO	
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REAR ELEVATION  
SCALE: 1/8" = 1'-0"



SIDE (GARAGE) ELEVATION  
SCALE: 1/8" = 1'-0"

DRAWING NOTES

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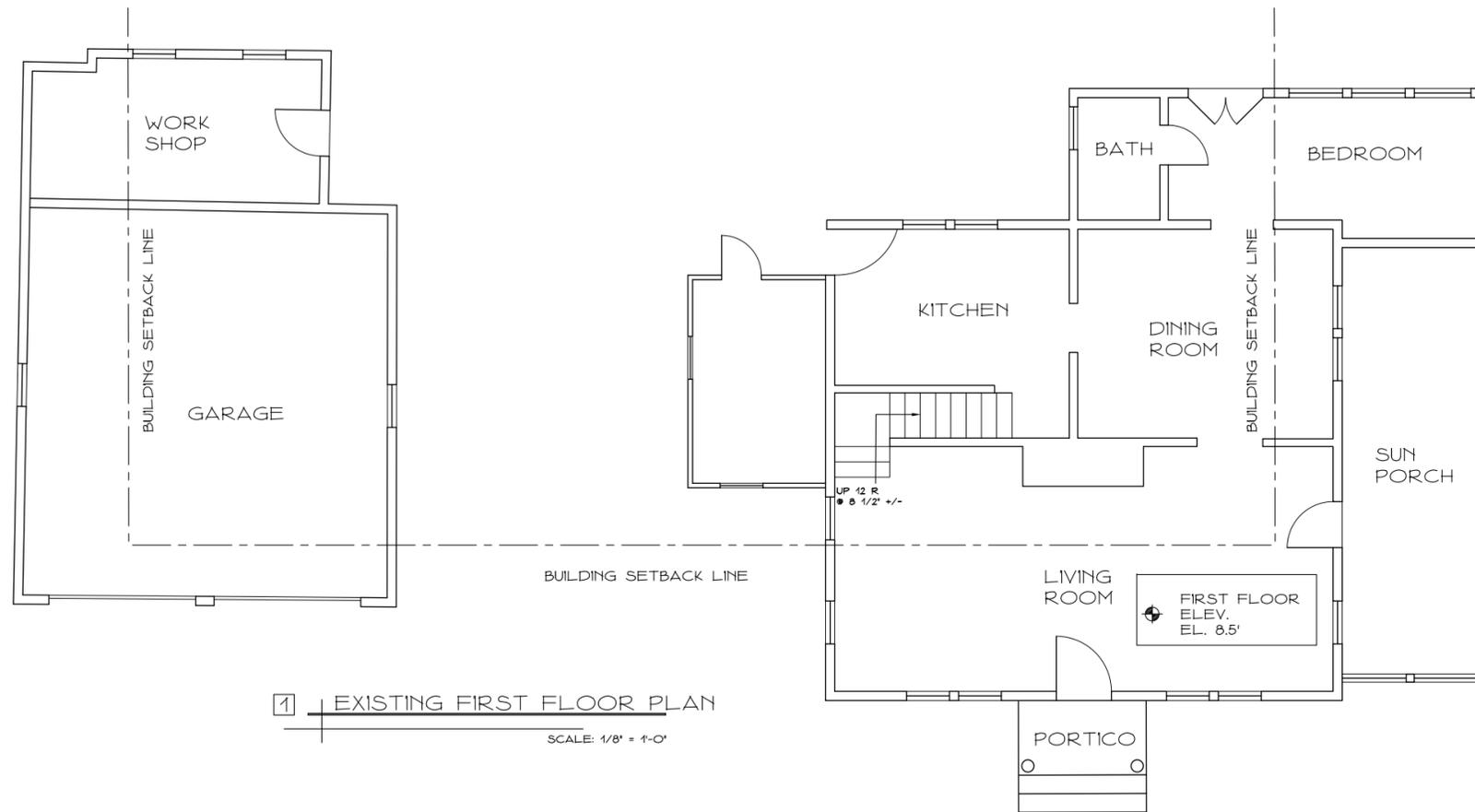
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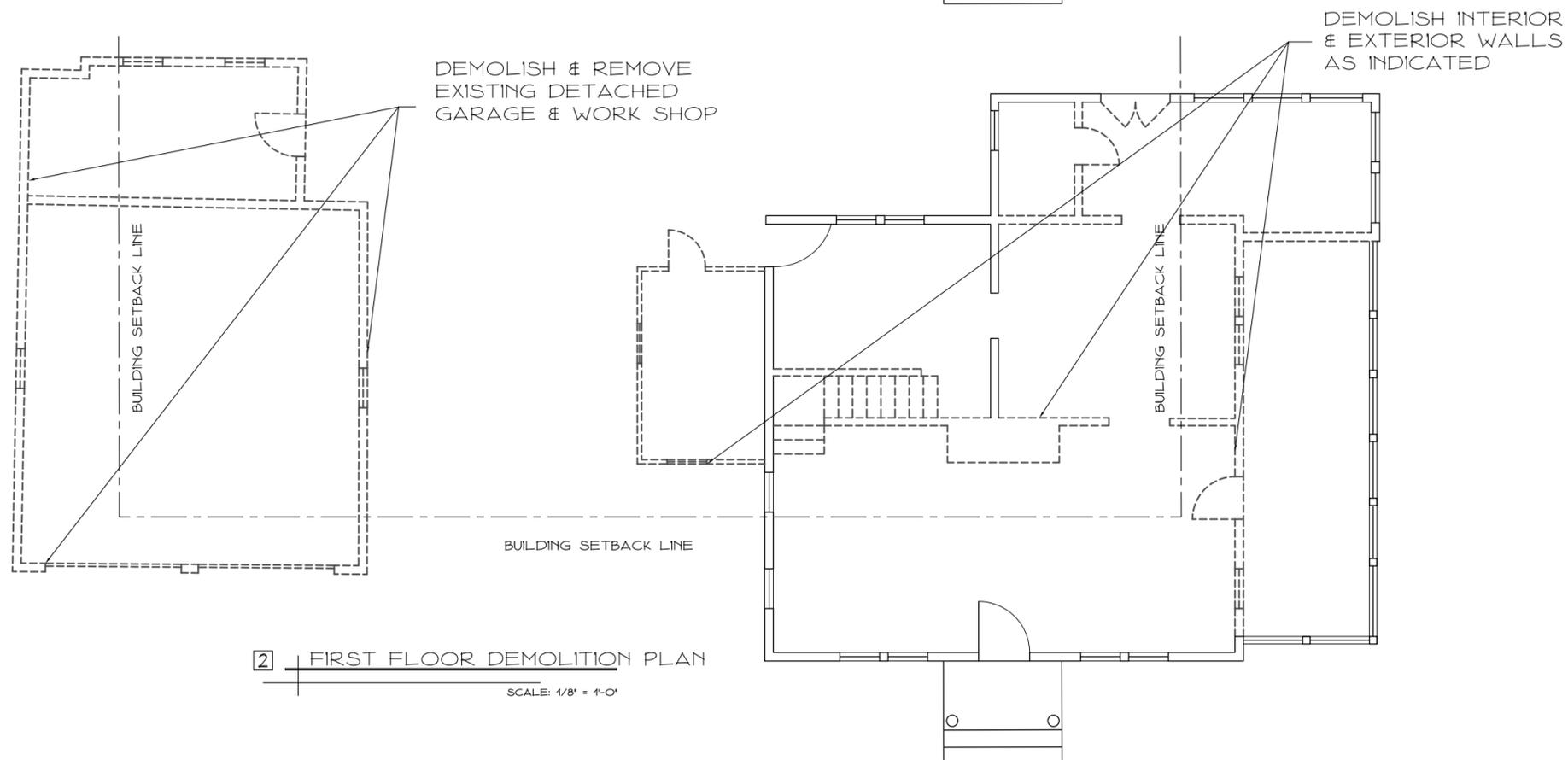
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ADDITIONS AND RENOVATIONS FOR: GRAYBILL RESIDENCE 7 BRADLEY STREET WESTPORT, CT		
ELEVATIONS		
DATE	SCALE	DRAWING NO
	1/8" = 1'-0"	A-7
	JOB NO	
	030120	
Donald William Fairbanks Architect, P.C. 762 Kings Highway West Southport CT 06890 203 . 945 . 6307		



1 EXISTING FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



2 FIRST FLOOR DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"

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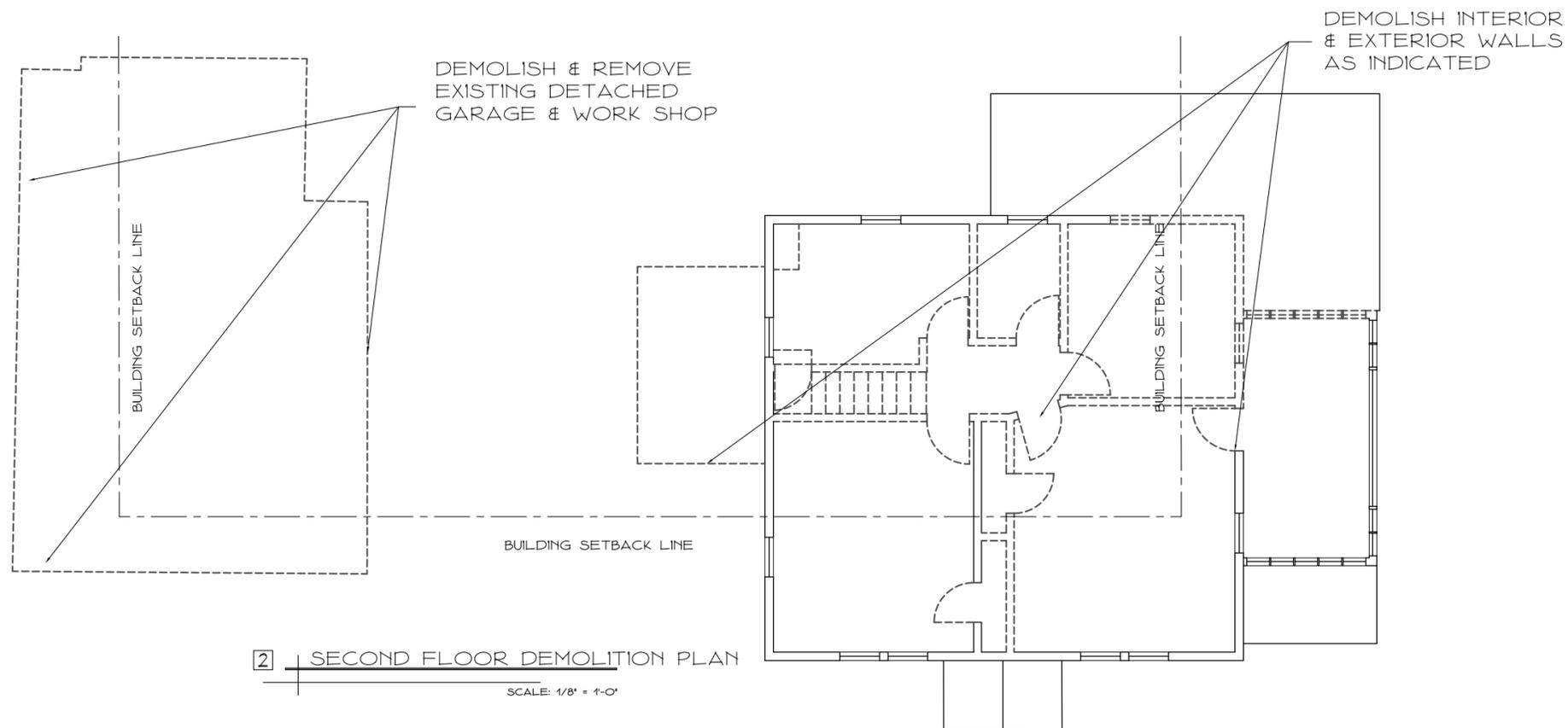
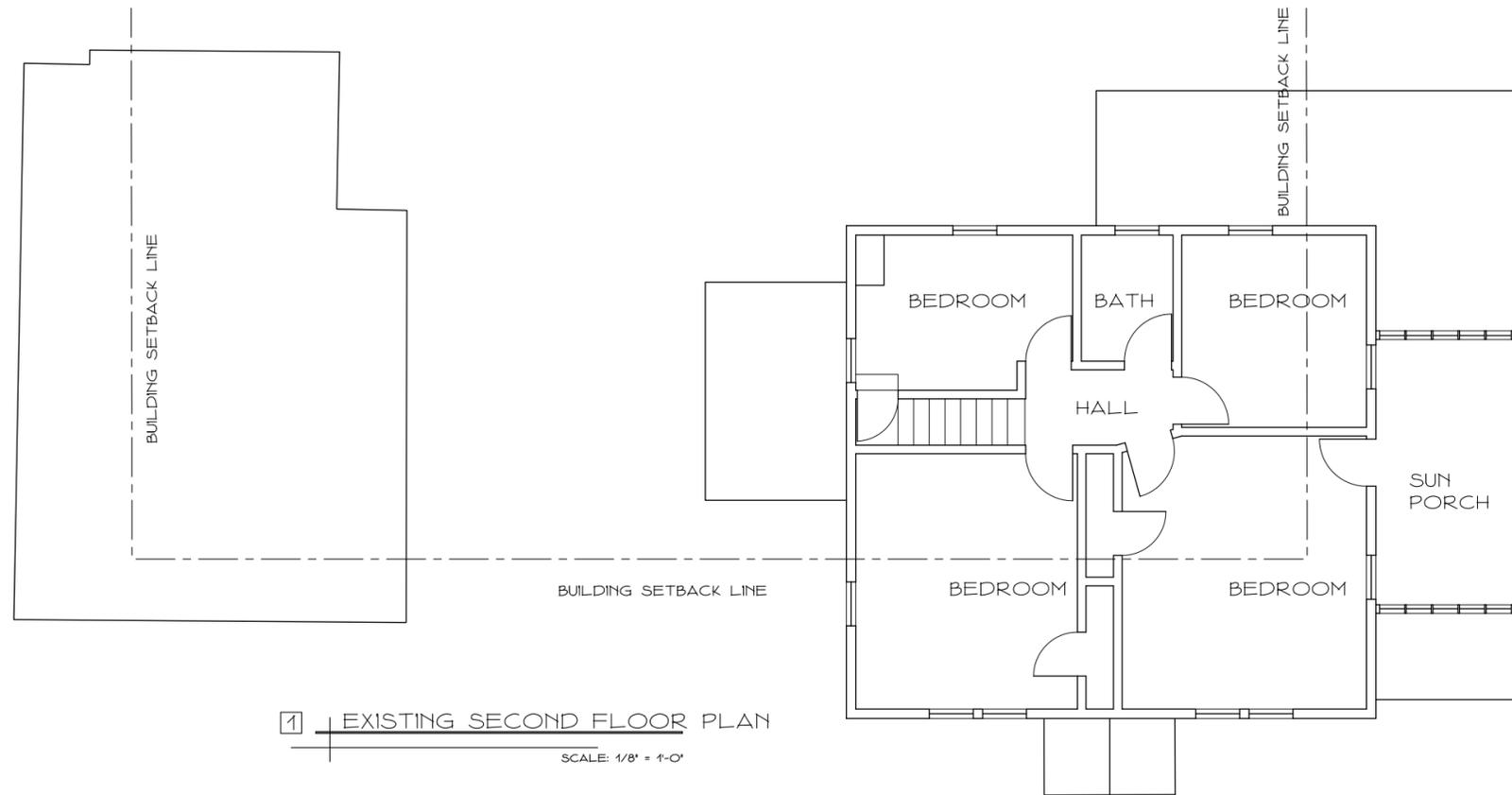
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ADDITIONS AND RENOVATIONS FOR:		
GRAYBILL RESIDENCE		
7 BRADLEY STREET WESTPORT, CT		
FIRST FLOOR EXISTING & DEMOLITION PLAN		
DATE	SCALE	DRAWING NO.
	1/8" = 1'-0"	<b>ED-1</b>
	JOB NO.	
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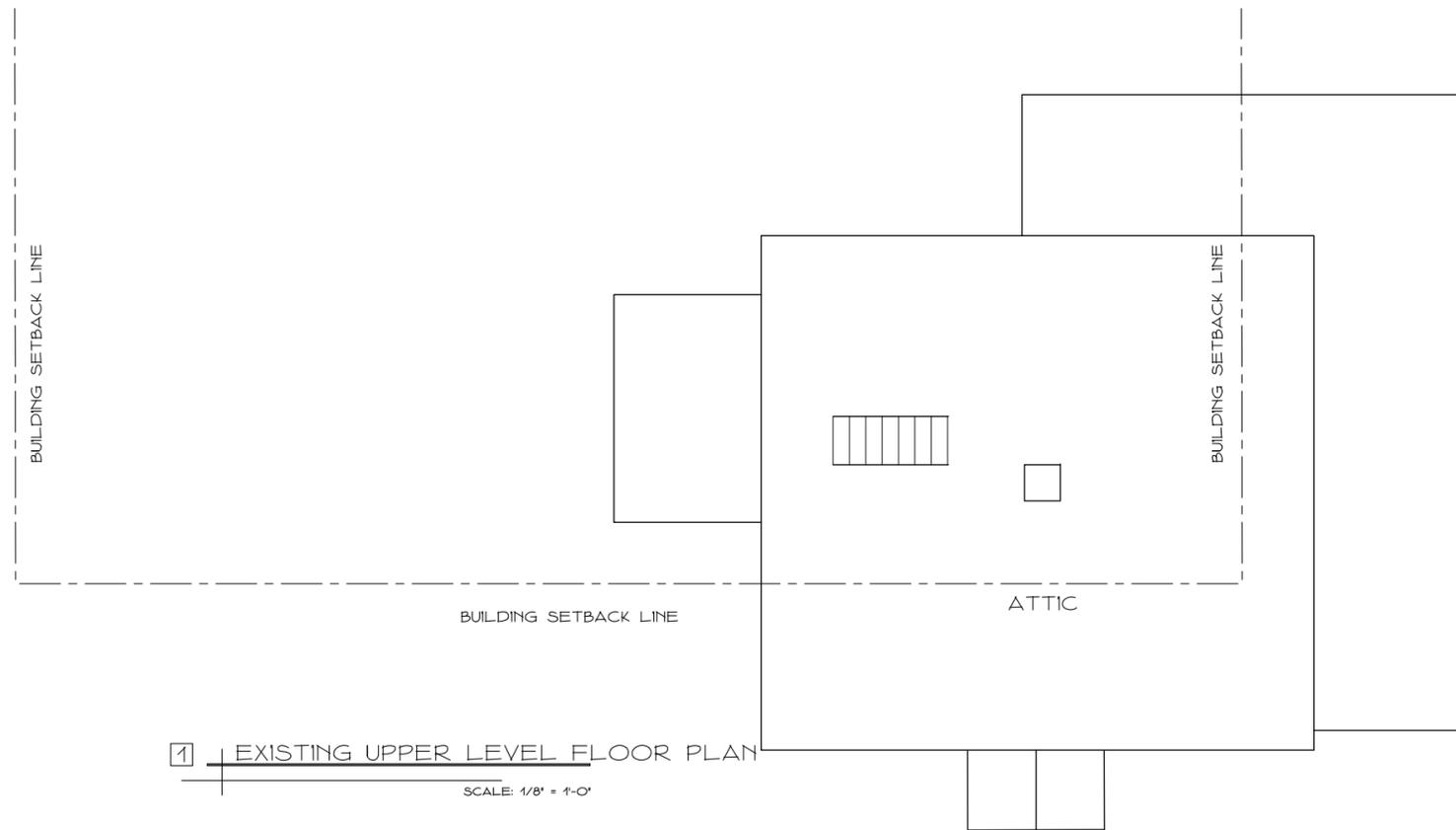
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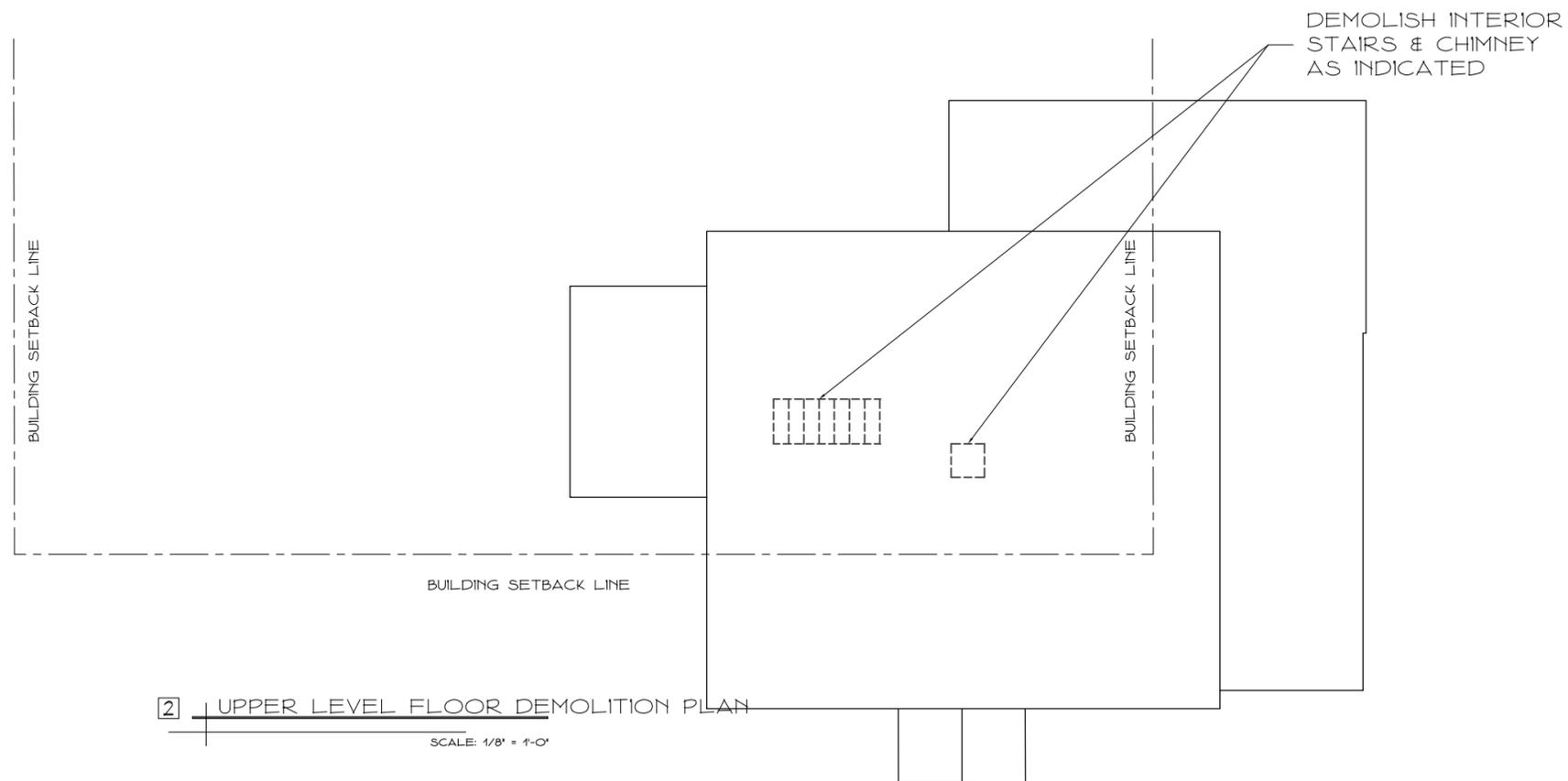
ADDITIONS AND RENOVATIONS FOR:		
GRAYBILL RESIDENCE		
7 BRADLEY STREET WESTPORT, CT		
SECOND FLOOR EXISTING & DEMOLITION PLAN		
DATE	SCALE	DRAWING NO.
	1/8" = 1'-0"	<b>ED-2</b>
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1 EXISTING UPPER LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"



2 UPPER LEVEL FLOOR DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

DEMOLISH INTERIOR  
STAIRS & CHIMNEY  
AS INDICATED

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ADDITIONS AND RENOVATIONS FOR:		
GRAYBILL RESIDENCE		
7 BRADLEY STREET WESTPORT, CT		
UPPER LEVEL FLOOR EXISTING & DEMOLITION PLAN		
DATE	SCALE	DRAWING NO
	1/8" = 1'-0"	<b>ED-3</b>
	JOB NO	
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MAXIMUM BUILDING HEIGHT 30.92' EL. 37.0'

ATTIC FLOOR

SECOND FLOOR

BASE FLOOD ELEVATION EL. 11.0'

EXISTING AVERAGE GRADE EL. 6.08'

EXISTING FIRST FLOOR ELEVATION EL. 8.5'

**A** EXISTING FRONT ELEVATION

SCALE: 1/8" = 1'-0"

MAXIMUM BUILDING HEIGHT 30.92' EL. 37.0'

ATTIC FLOOR

SECOND FLOOR

BASE FLOOD ELEVATION EL. 11.0'

EXISTING AVERAGE GRADE EL. 6.08'

EXISTING FIRST FLOOR ELEVATION EL. 8.5'

**B** EXISTING SIDE (FAIRFIELD) ELEVATION

SCALE: 1/8" = 1'-0"

MAXIMUM BUILDING HEIGHT 30.92' EL. 37.0'

ATTIC FLOOR

SECOND FLOOR

BASE FLOOD ELEVATION EL. 11.0'

EXISTING AVERAGE GRADE EL. 6.08'

EXISTING FIRST FLOOR ELEVATION EL. 8.5'

**C** FRONT DEMOLITION ELEVATION

SCALE: 1/8" = 1'-0"

MAXIMUM BUILDING HEIGHT 30.92' EL. 37.0'

ATTIC FLOOR

SECOND FLOOR

BASE FLOOD ELEVATION EL. 11.0'

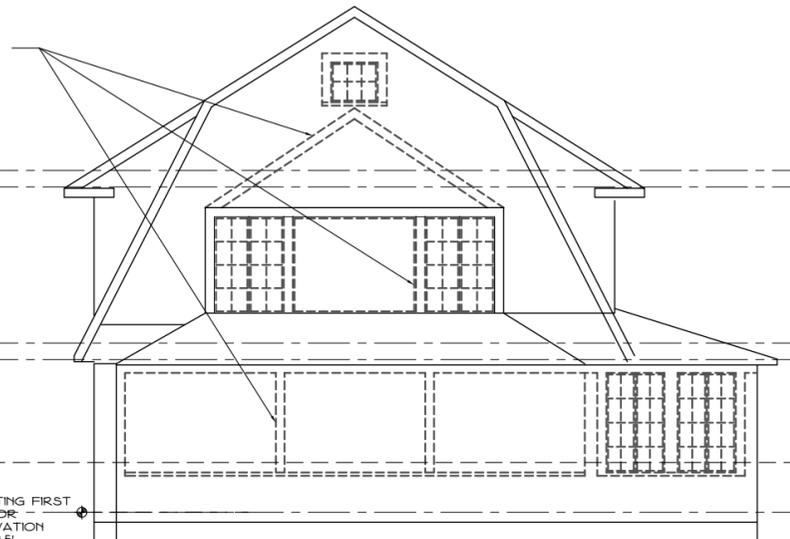
EXISTING AVERAGE GRADE EL. 6.08'

EXISTING FIRST FLOOR ELEVATION EL. 8.5'

**D** SIDE (FAIRFIELD) DEMOLITION ELEVATION

SCALE: 1/8" = 1'-0"

REMOVE EXISTING WALLS, WINDOWS & ROOFS AS INDICATED



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ADDITIONS AND RENOVATIONS FOR:  
GRAYBILL RESIDENCE  
7 BRADLEY STREET WESTPORT, CT

ELEVATIONS EXISTING & DEMOLITION

DATE	SCALE 1/8" = 1'-0"	DRAWING NO. <b>ED-4</b>
	JOB NO. 030120	

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MAXIMUM BUILDING HEIGHT 30.92' EL. 37.0'

ATTIC FLOOR

SECOND FLOOR

BASE FLOOD ELEVATION EL. 11.0'

EXISTING FIRST FLOOR ELEVATION EL. 8.5'

EXISTING AVERAGE GRADE EL. 6.08'

**E** EXISTING REAR ELEVATION

SCALE: 1/8" = 1'-0"

MAXIMUM BUILDING HEIGHT 30.92' EL. 37.0'

ATTIC FLOOR

SECOND FLOOR

BASE FLOOD ELEVATION EL. 11.0'

EXISTING FIRST FLOOR ELEVATION EL. 8.5'

EXISTING AVERAGE GRADE EL. 6.08'

**F** EXISTING SIDE (GARAGE) ELEVATION

SCALE: 1/8" = 1'-0"

MAXIMUM BUILDING HEIGHT 30.92' EL. 37.0'

ATTIC FLOOR

SECOND FLOOR

BASE FLOOD ELEVATION EL. 11.0'

EXISTING FIRST FLOOR ELEVATION EL. 8.5'

EXISTING AVERAGE GRADE EL. 6.08'

**G** REAR DEMOLITION ELEVATION

SCALE: 1/8" = 1'-0"

REMOVE EXISTING WALLS, WINDOWS & ROOFS AS INDICATED

MAXIMUM BUILDING HEIGHT 30.92' EL. 37.0'

ATTIC FLOOR

SECOND FLOOR

BASE FLOOD ELEVATION EL. 11.0'

EXISTING FIRST FLOOR ELEVATION EL. 8.5'

EXISTING AVERAGE GRADE EL. 6.08'

**H** SIDE (GARAGE) DEMOLITION ELEVATION

SCALE: 1/8" = 1'-0"

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7 BRADLEY STREET WESTPORT, CT

ELEVATIONS EXISTING & DEMOLITION

DATE	SCALE 1/8" = 1'-0"	DRAWING NO. <b>ED-5</b>
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