

ZBA VARIANCE or APPEAL APPLICATION

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WESTPORT ZONING BOARD OF APPEALS Tel: 203-341-1030 Fax: 203-454-6145

INSTRUCTIONS for APPLICANT: For Questions visit P&Z office Daily 9:00-11:30.

Complete pgs 1 & 2 then, REVIEW & COLLECT ALL materials listed on pgs 3&4.

When all is collected DROP OFF to P&Z OFFICE DAILY between 8:30 & 4:00.

After the STAFF REVIEW is complete, a Hearing Date will be set. Please Review pgs. 5&7.

Note: Commercial projects may require Architectural Review Board approval, If needed. You MUST submit ARB application BEFORE going to ZBA Hearing.

OFFICE USE ONLY

Application#: _____

Submission Date: _____

Receipt Date: _____

Fee Paid: _____

1. Property Address: 7 Bradley Street Zone: A
Commercial Property: or Residential:
2. Applicant's Name: Don W. Fairbanks E-Mail: don@dwfarchitects.com
Applicant's Address 762 King's Highway West Southport, CT 06890 Daytime Tel: 203.345.6307

NOTE: Below List Owner's Name (s) as appears on the DEED (No abbreviations) If more space needed submit list.

3. Property Owner's Name: Jeffery Graybill & Laura Hull E-Mail: jeffg@kwegadv.com
Property Owner's Address: 7 Bradley Street Westport, CT 06880 Daytime Tel: 917.509.2486

4. Is this property on: a Septic System: or Sewer:
5. Is this property within 500 feet of any adjoining municipality? Yes No
6. Does this project involve the demolition of any structures that are 50 years old or more? Yes No

7. Briefly Describe your Proposed Project: _____
Raise existing home to above FEMA base flood elevation, add garage and 2 story living space, & expand existing second floor sun porch

8. Will any part of any structures be demolished? No Yes - If Yes Attach a Demolition Plan:
Demolition plans & elevations attached

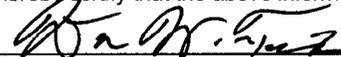
9. List each "Regulation Section Number" you are requesting a variance for: i.e. (Sec 6-2 = Set back)
Sections 6-2.1.2, 6-2.1.6 & 6-2.1.7, Expansion, Extension or Alteration of non-conforming building; Sections 6-3.1 & 13-4 Setbacks, Section 13-6 Building Coverage and Total Coverage; Section 6-3 non-conforming lot; Section 6.2.2 Coverage

10. List any other variances that are requested to legalize any previous issues: i.e. (Sec 11-5 Coverage for existing shed)
N/A

11. List the PROPERTY HARDSHIP(s) or REASON(s) why this Variance or Appeal should be granted, stating clearly the exceptional difficulty REGARDING YOUR PROPERTY. Note: Financial Hardship will NOT warrant a variance approval see pg 5.

Existing non conforming lot; Corner lot with 2 fronts, existing non conforming coverage & setbacks; 100 year floodplain

I hereby certify that the above information is correct and that the accompanying exhibits attached are true.


Applicant's Signature (If different than owner)

See attached letter

Owner's Signature (Must be signed)

If the applicant is unable to obtain the signature of the property owner, a letter of authorization by the property owner must be submitted.

TO BE COMPLETED BY OWNER/ APPLICANT

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After all required materials are collected, DROP OFF to P&Z OFFICE DAILY between 8:30 & 3:00 ONLY.

BUILDING PLANS (TITLE) Additions & Renovations for Graybill Residence

BY: Donald William Fairbanks architect, P.C. DATE 8 June 2020 NUMBER of PGS. 13

REVISED DATE _____ NUMBER of PGS. _____

SURVEY OR SITE PLAN (TITLE) Site Development Plan for 7 Bradley Street

BY: B & B Engineering DATE 6/24/2020 NUMBER of PGS. 1

REVISED DATE _____ NUMBER of PGS. _____

GROSS LOT AREA: 10,000 S.F. **NET LOT AREA:** *(less 80% wetlands or steep slopes):* 10,000 S.F.

SETBACKS: Front / Side / Rear) (From Survey)

Existing: 15.5'/18.1' / 1.2'/41.6' / N/A

Required: 30' / 7.5' / N/A

Proposed: 16.5'/18.1' / 6.5'/41.1' / N/A

FLOOR AREA / FAR:

Existing: _____

Allowed: _____

Proposed: _____

COVERAGE: Building / Total (From Survey)

Existing: 18.6% / 24.2%

Required: 15.0% / 25.0%

Proposed: 18.3% +/- / 27.9% +/-

PARKING:

Existing: 2

Required: 2

Proposed: 2

HEIGHT: In Feet / # of Stories

Existing: 26.6' / 2

Required: 31.0' / 2

Proposed: 30.8' +/- / 2

SIGNS:

Existing: _____

Required: _____

Proposed: _____

ATTIC / HALF STORY:

Existing: Attic / Proposed: Attic

LANDSCAPING:

Existing: _____

Required: _____

Proposed: _____

CRAWL SPACE - CELLAR - BASEMENT:

Existing: Cellar / Proposed: Crawl

NOTE: If you submit Revised Plans – You **MUST SUBMIT A COVER LETTER** listing **EACH CHANGE & 9 COPIES**.

REVISIONS FEE: Revised Plans, which require additional staff review **ADDITIONAL FEE** of **HALF** of original Appl. fee is **REQUIRED**.