

Connecticut Department of Energy and Environmental Protection License*

Certificate of Permission

Licensee(s): 6 Manitou Court, LLC

Licensee Address(s): Bluff Point Associates
c/o Thomas E. McInerney
274 Riverside Avenue
Westport, CT 06880

License Number(s): 202005391-COP

Municipality: Town of Westport

Project Description: Repair a seawall and retain and repair/replace seawall returns for flood and erosion control, retain and remove a post-supported deck and retain a stone-supported house both located landward of the seawall, replace the deck and install an elevated house section for residential use and retain a pier, ramp and modify the float for residential boating access

Project Address/Location: 6 Manitou Court

Waters: Saugatuck River

Authorizing CT Statute(s) and/or Federal Law: CGS Section 22a-359 to 363g; CGS Section 22a-90 to 112; CGS Section 22a-28 to 35

Applicable Regulations of CT State Agencies: 22a-30-1 to 17

Agency Contact: Land & Water Resources Division,
Bureau of Water Protection & Land Reuse, 860-424-3019

License Expiration: Five (5) years from the date of issuance of this license.

Project Site Plan Set: Twenty sheets of plans of which Figure 1 is undated, Figure 2 is dated 3/17/2020, Figures 3, 4 and 5 through 8 are dated 3/16/2020 and revised 6/23/2020, Figure 4A is dated 6/23/2020, Figures 3A and 11 are dated 6/24/2020, Figures 9 and 10 are dated 6/25/2020, Figure 12 is dated 3/16/2020 and revised 6/25/2020, and Figures SK-EX-1 through SK-EX-3 and SK-1 through SK- 3 are dated 7/7/2020

*Connecticut's Uniform Administrative Procedure Act defines License to include, "the whole or part of any agency permit, certificate, approval, registration, charter or similar form of permission required by law . . ."

License Enclosures: Compliance Certification Form, Land Record Filing, LWRD General Conditions, Site Plan Set, Work Commencement Form, Northern diamondback terrapin fact sheet

Authorized Activities:

The Licensee is hereby authorized to conduct the following work as described in application # 202005391-COP and as depicted on any site plan sheets / sets cited herein:

1. Repair an approximately 235' long stacked stone seawall by replacing fallen stones, install four 4" diameter weep holes in the southerly 90' portion of the seawall and remove backfill landward of the northerly 145' portion of the seawall down to the bedrock, install geotextile fabric against the landward side of the seawall, place gravel and replace the backfill;
2. Deck and House located landward of the seawall
 - A. Retain the existing wooden deck, remove it and demolish the lower level of the house;
 - B. Remove approximately 15 cubic yards of material down to ledge (elevation of ledge +/- 0.5') for cribbing footings and store the excavated material in stockpile area landward of Coastal Jurisdiction Line (CJL);
 - C. Install cribbing and elevate a house section from 14.6' to 21' NAVD88;
 - D. Remove 20 wooden posts, stone columns and foundation walls that support the deck and house;
 - E. During low tide, remove approximately 15 cy of material down to ledge for the foundation footings and store the excavated material in stockpile area;
 - F. Form and pour 62 concrete footings (19 of which are waterward of the CJL) for the new deck and 14 house foundations footings (3 of which are waterward of the CJL);
 - G. Once the concrete has cured, backfill the area around the new footings to previous grades using the stockpiled excavated material;
 - H. Construct masonry piers on each of the foundations to support new house and deck;
 - I. Set the house (which will be attached by an elevated corridor to a new portion of the house to be installed landward of the CJL) on the new pier foundations and remove the cribbing; and
 - J. Complete the framing and decking for the new wooden deck.
3. Retain an existing approximately 14' long by 1' wide wooden retaining wall ("wall") landward of, and perpendicular to, the seawall that contains the northern side of the cavity under the existing and proposed deck and house, remove the backfill on the northern side of the wall and replace it in place with a 24' long 1' wide concrete retaining wall.
4. Retain an approximately 35' long by 22" wide stone seawall return wall ("wall") with variable top elevations located along the southern property line that contains the southern side of the cavity under the existing and proposed deck and house, rebuild the waterward 11' to 15' of the wall and repair as needed the remaining length of the wall and install break away safety glass on top of the waterward end of the wall.
5. Retain an existing 6' wide by 30' long pier oriented perpendicular to shore and a 3' wide by 24' long ramp oriented parallel to shore and a 8' wide by 24' long float oriented

parallel to shore and three tie-off pilings and replace the float with a 7' wide by 27.5' long float.

Failure to comply with the terms and conditions of this license shall subject the Licensee and / or the Licensee's contractor(s) to enforcement actions and penalties as provided by law.

This license is subject to the following Terms and Conditions:

1. **License Enclosure(s) and Conditions.** The Licensee shall comply with all applicable terms and conditions as may be stipulated within the License Enclosure(s) listed above.
2. **Time of Year Restriction.** Work authorized pursuant to Authorized Activities, paragraphs 1 – 4, above, shall not be conducted between July 1 and August 30, inclusive of any year, to protect spawning oysters in the area unless otherwise authorized in writing by the Commissioner.
3. **Living Space Waterward of CJL.** The Licensee shall not increase the living space volume or footprint of the dwelling section waterward of the CJL.
4. **Turtle Best Management Practices.** Due to the potential presence of the Northern diamond-back terrapins (“turtles”) in the project area, the Licensee shall make every effort to conduct the work authorized pursuant to this license from November through March, when the turtles are less active. However, if conducting work at that time is not possible, then all workers shall be educated about these turtles using the attached addendum and shall be required to inspect the shoreline prior to working each day. If any turtles are observed, the workers shall contact a Certified Ecologist to move the turtles out of the way and to document such encounter with the DEEP, Wildlife Division.
5. **Construction Sequence.** The Licensee shall conduct the work authorized pursuant to the Authorized Activities, above, in accordance with Figure 12, attached hereto, entitled Construction/Repair Sequence, except as may be modified in writing by the Commissioner.
6. **Height of Tide Restriction.** Work authorized pursuant to Authorized Activities, paragraphs 1 – 4, above, shall be conducted during periods of lower water to minimize sedimentation.
7. **Tidal Wetland Protection.** Prior to undertaking the replacement of stones that have fallen from the seawall authorized pursuant to paragraph 1 of the Authorized Activities, the Licensee shall retain the services of a qualified environmental professional to install stakes to delineate the footprint of the tidal wetland vegetation. No work shall take place within the delineated area.
8. **Equipment and Stockpile Location Restriction.** At no time shall equipment or material stockpiles be located waterward of the CJL or in tidal wetlands.

General Conditions for Land & Water Resources Division Licenses

- 1. Land Record Filing (for Structures Dredging & Fill, Tidal Wetlands, Certificate of Permission, and Long Island Sound General Permit Licenses only).** The Licensee shall file the Land Record Filing on the land records of the municipality in which the subject property is located not later than thirty (30) days after license issuance pursuant to Connecticut General Statutes (CGS) Section 22a-363g. A copy of the Notice with a stamp or other such proof of filing with the municipality shall be submitted to the Commissioner no later than sixty (60) days after license issuance. If a Land Record Filing form is not enclosed and the work site is not associated with an upland property, no filing is required.
- 2. Contractor Notification.** The Licensee shall give a copy of the license and its attachments to the contractor(s) who will be carrying out the authorized activities prior to the start of construction and shall receive a written receipt for such copy, signed and dated by such contractor(s). The Licensee's contractor(s) shall conduct all operations at the site in full compliance with the license and, to the extent provided by law, may be held liable for any violation of the terms and conditions of the license. At the work site, the contractor(s) shall, whenever work is being performed, have on site and make available for inspection a copy of the license and the authorized plans.
- 3. Work Commencement¹.** Not later than two (2) weeks prior to the commencement of any work authorized herein, the Licensee shall submit to the Commissioner, on the Work Commencement Form attached hereto, the name(s) and address(es) of all contractor(s) employed to conduct such work and the expected date for commencement and completion of such work, if any.
 - For water diversion activities authorized pursuant to 22a-377(c)-1 of the Regulations of Connecticut State Agencies, the Licensee shall also notify the Commissioner in writing two weeks prior to initiating the authorized diversion.
 - For emergency activities authorized pursuant Connecticut General Statutes Section 22a-6k, the Licensee shall notify the Commissioner, in writing, of activity commencement at least one (1) day prior to construction and of activity completion no later than five (5) days after conclusion.
- 4. For Coastal Licenses Only - License Notice.** The Licensee shall post the first page of the License in a conspicuous place at the work area while the work authorized therein is undertaken.
- 5. Unauthorized Activities.** Except as specifically authorized, no equipment or material, including but not limited to, fill, construction materials, excavated material or debris, shall be

¹ The Work Commencement condition and the need for a Work Commencement Form is not applicable to Flood Management Certification approvals.

deposited, placed or stored in any wetland or watercourse on or off-site. The Licensee may not conduct work within wetlands or watercourses other than as specifically authorized, unless otherwise authorized in writing by the Commissioner. Tidal wetlands means “wetland” as defined by section 22a-29 and “freshwater wetlands and watercourses” means “wetlands” and “watercourses” as defined by section 22a-38.

6. **Unconfined Instream Work.** Unless otherwise noted in a condition of the license, the following conditions apply to projects in non-coastal waters:
 - Unconfined instream work is limited to the period June 1 through September 30.
 - Confinement of a work area by cofferdam techniques using sand bag placement, sheet pile installation (vibratory method only), portadam, or similar confinement devices is allowed any time of the year. The removal of such confinement devices is allowed any time of the year.
 - Once a work area has been confined, in-water work within the confined area is allowed any time of the year.
 - The confinement technique used shall completely isolate and protect the confined area from all flowing water. The use of silt boom/curtain or similar technique as a means for confinement is prohibited.
7. **For State Actions Only - Material or Equipment Storage in the Floodplain.** Unless approved by a Flood Management Exemption, the storage of any materials at the site which are buoyant, hazardous, flammable, explosive, soluble, expansive, radioactive, or which could in the event of a flood be injurious to human, animal or plant life, below the elevation of the five-hundred (500) year flood is prohibited. Any other material or equipment stored at the site below said elevation by the Licensee or the Licensee's contractor must be firmly anchored, restrained or enclosed to prevent flotation. The quantity of fuel stored below such elevation for equipment used at the site shall not exceed the quantity of fuel that is expected to be used by such equipment in one day. In accordance with the licensee's Flood Contingency Plan, the Licensee shall remove equipment and materials from the floodplain during periods when flood warnings have been issued or are anticipated by a responsible federal, state or local agency. It shall be the Licensee's responsibility to obtain such warnings when flooding is anticipated.
8. **Temporary Hydraulic Facilities for Water Handling.** If not reviewed and approved as a part of the license application, temporary hydraulic facilities shall be designed by a qualified professional and in accordance with the *Connecticut Guidelines for Soil Erosion and Sediment Control*, the *2004 Connecticut Stormwater Quality Manual*, or the *Department of Transportation's ConnDOT Drainage Manual*, as applicable. Temporary hydraulic facilities may include channels, culverts or bridges which are required for haul roads, channel relocations, culvert installations, bridge construction, temporary roads, or detours.
9. **Excavated Materials.** Unless otherwise authorized, all excavated material shall be staged and managed in a manner which prevents additional impacts to wetlands and watercourses.
10. **Best Management Practices.** The Licensee shall not cause or allow pollution of any wetlands or watercourses, including pollution resulting from sedimentation and erosion. In constructing

or maintaining any authorized structure or facility or conducting any authorized activity, or in removing any such structure or facility, the Licensee shall employ best management practices to control storm water discharges, to prevent erosion and sedimentation, and to otherwise prevent pollution of wetlands and other waters of the State. For purposes of the license, “pollution” means “pollution” as that term is defined by CGS section 22a-423. Best Management Practices include, but are not limited, to practices identified in the *Connecticut Guidelines for Soil Erosion and Sediment Control* as revised, *2004 Connecticut Stormwater Quality Manual*, Department of Transportation’s *ConnDOT Drainage Manual* as revised, and the Department of Transportation Standard Specifications as revised.

11. Work Site Restoration. Upon completion of any authorized work, the Licensee shall restore all areas impacted by construction, or used as a staging area or accessway in connection with such work, to their condition prior to the commencement of such work.

12. Inspection. The Licensee shall allow any representative of the Commissioner to inspect the project location at reasonable times to ensure that work is being or has been conducted in accordance with the terms and conditions of this license.

13. Change of Use. (Applies only if a use is specified within the License “Project Description”)

- a. The work specified in the license is authorized solely for the purpose set forth in the license. No change in purpose or use of the authorized work or facilities as set forth in the license may occur without the prior written approval of the Commissioner. The Licensee shall, prior to undertaking or allowing any change in use or purpose from that which is authorized by this license, request permission from the Commissioner for such change. Said request shall be in writing and shall describe the proposed change and the reason for the change.
- b. A change in the form of ownership of any structure authorized herein from a rental/lease commercial marina to a wholly-owned common interest community or dockominium may constitute a change in purpose as specified in paragraph (a) above.

14. De Minimis Alteration. The Licensee shall not deviate from the authorized activity without prior written approval from the Commissioner. The Licensee may request a de minimis change to any authorized structure, facility, or activity. A de minimis alteration means a change in the authorized design, construction or operation that individually and cumulatively has minimal additional environmental impact and does not substantively alter the project as authorized.

- For diversion activities authorized pursuant to 22a-377(c)-2 of the Regulations of Connecticut State Agencies, a de minimis alteration means an alteration which does not significantly increase the quantity of water diverted or significantly change the capacity to divert water.

15. Extension Request. The Licensee may request an extension of the license expiration date. Such request shall be in writing and shall be submitted to the Commissioner at least thirty (30) days prior to the license expiration. Such request shall describe the work done to date, what work still needs to be completed, and the reason for such extension. It shall be the Commissioner’s sole discretion to grant or deny such request.

- 16. Compliance Certification.** Not later than 90 days after completion of the authorized work, the Licensee shall prepare and submit to the Commissioner the attached Compliance Certification Form. Such Compliance Certification shall be completed, signed, and sealed by the Licensee and a Connecticut Licensed Design Professional. If non-compliance is indicated on the form, or the Commissioner has reason to believe the activities and/or structures were conducted in non-compliance with the license, the Commissioner may require the Licensee to submit as-built plans as a condition of this license.
- 17. Maintenance.** The Licensee shall maintain all authorized structures or work in optimal condition or shall remove such structures or facility and restore the affected waters to their pre-work condition. Any such maintenance or removal activity shall be conducted in accordance with applicable law and any additional approvals required by law.
- 18. No Work After License Expiration.** Work conducted after the license expiration date is a violation of the license and may subject the licensee to enforcement action, including penalties, as provided by law.
- 19. License Transfer.** The license is not transferable without prior written authorization of the Commissioner. A request to transfer a license shall be submitted in writing and shall describe the proposed transfer and the reason for such transfer. The Licensee's obligations under the license shall not be affected by the passage of title to the license site to any other person or municipality until such time as a transfer is approved by the Commissioner.
- 20. Document Submission.** Any document required to be submitted to the Commissioner under the license or any contact required to be made with the Commissioner shall, unless otherwise specified in writing by the Commissioner, be directed to:
- Regulatory Section
Land & Water Resources Division
Department of Energy and Environmental Protection
79 Elm Street
Hartford, Connecticut 06106-5127
860-424-3019
- 21. Date of Document Submission.** The date of submission to the Commissioner of any document required by the license shall be the date such document is received by the Commissioner. The date of any notice by the Commissioner under the license, including but not limited to notice of approval or disapproval of any document or other action, shall be the date such notice is personally delivered or the date three (3) days after it is mailed by the Commissioner, whichever is earlier. Except as otherwise specified in the license, the word "day" as used in the license means calendar day. Any document or action which is required by the license to be submitted or performed by a date which falls on a Saturday, Sunday or a Connecticut or federal holiday shall be submitted or performed on or before the next day which is not a Saturday, Sunday, or a Connecticut or federal holiday.
- 22. Certification of Documents.** Any document, including but not limited to any notice, which is required to be submitted to the Commissioner under the license shall be signed by the Licensee and by the individual or individuals responsible for actually preparing such

document, each of whom shall certify in writing as follows: “I have personally examined and am familiar with the information submitted in this document and all attachments and certify that based on reasonable investigation, including my inquiry of those individuals responsible for obtaining the information, the submitted information is true, accurate and complete to the best of my knowledge and belief, and I understand that any false statement made in this document or its attachments may be punishable as a criminal offense.”

- 23. Accuracy of Documentation.** In evaluating the application for the license, the Commissioner has relied on information and data provided by the Licensee and on the Licensee’s representations concerning site conditions, design specifications and the proposed work, including but not limited to representations concerning the commercial, public or private nature of the work or structures, the water-dependency of said work or structures, its availability for access by the general public, and the ownership of regulated structures or filled areas. If such information proves to be false, deceptive, incomplete or inaccurate, the license may be modified, suspended or revoked, and any unauthorized activities may be subject to enforcement action.
- 24. Limits of Liability.** In granting the license, the Commissioner has relied on all representations of the Licensee, including information and data provided in support of the Licensee’s application. Neither the Licensee’s representations nor the issuance of the license shall constitute an assurance by the Commissioner as to the structural integrity, the engineering feasibility or the efficacy of such design.
- 25. Reporting of Violations.** In the event that the Licensee becomes aware that they did not or may not comply, or did not or may not comply on time, with any provision of this license or of any document incorporated into the license, the Licensee shall immediately notify the agency contact specified within the license and shall take all reasonable steps to ensure that any noncompliance or delay is avoided or, if unavoidable, is minimized to the greatest extent possible. In so notifying the agency contact, the Licensee shall provide, for the agency’s review and written approval, a report including the following information:
- a. the provision(s) of the license that has been violated;
 - b. the date and time the violation(s) was first observed and by whom;
 - c. the cause of the violation(s), if known;
 - d. if the violation(s) has ceased, the duration of the violation(s) and the exact date(s) and times(s) it was corrected;
 - e. if the violation(s) has not ceased, the anticipated date when it will be corrected;
 - f. steps taken and steps planned to prevent a reoccurrence of the violation(s) and the date(s) such steps were implemented or will be implemented; and
 - g. the signatures of the Licensee and of the individual(s) responsible for actually preparing such report.

If the violation occurs outside of normal business hours, the Licensee shall contact the Department of Energy and Environmental Protection Emergency Dispatch at 860-424-3333. The Licensee shall comply with any dates which may be approved in writing by the

Commissioner.

- 26. Revocation/Suspension/Modification.** The license may be revoked, suspended, or modified in accordance with applicable law.
- 27. Other Required Approvals.** License issuance does not relieve the Licensee of their obligations to obtain any other approvals required by applicable federal, state and local law.
- 28. Rights.** The license is subject to and does not derogate any present or future property rights or powers of the State of Connecticut, and conveys no property rights in real estate or material nor any exclusive privileges, and is further subject to any and all public and private rights and to any federal, state or local laws or regulations pertinent to the property or activity affected hereby.
- 29. Condition Conflicts.** In the case where a project specific special condition listed on the license differs from, or conflicts with, one of the general conditions listed herein, the project specific special condition language shall prevail. It is the licensee's responsibility to contact the agency contact person listed on the license for clarification if needed prior to conducting any further regulated activities.


 Governor Dannel P. Malloy |


Department of ENERGY & ENVIRONMENTAL PROTECTION

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Main Menu

[Outdoor Recreation](#)
[Natural Resources](#)
[Environmental Quality](#)
[Permits & Licenses](#)
[Laws & Regulations](#)
[Public Participation](#)
[Education](#)
[Maps and GIS Data](#)
[DEEP Home](#)



NORTHERN DIAMONDBACK TERRAPIN

Malaclemys t. terrapin



Background: The Northern diamondback terrapin is the only species of turtle in North America, including Connecticut, that spends its life in brackish water (water that is less salty than sea water). Diamondback terrapins are most abundant in tidal estuaries west of the Connecticut River. They are tolerant of some pollution and are known to congregate at warm water discharge outputs of power stations along the Connecticut shoreline.

In the early 1900s, diamondbacks were a popular gourmet food. Their numbers declined due to unregulated harvesting and habitat loss through coastal development. Motorboat propellers have been responsible for inflicting serious wounds to terrapins, usually causing death. Terrapins also become trapped and then drown in submerged crab and lobster pots. During the nesting season, many females are killed as they attempt to cross coastal roads in search of nesting areas.

The diamondback terrapin is currently protected by Connecticut Regulation 26-66-14a which states that there is no open season for taking terrapins in any development stage. Therefore, diamondback terrapins can no longer be collected or possessed in Connecticut.

Range: The northern subspecies of the diamondback terrapin occurs along the Atlantic coast from Cape Cod, Massachusetts, to Cape Hatteras, North Carolina. Other subspecies are found from Cape Hatteras south to the Florida Keys and west along the Gulf Coast and the Texas coastline.

Description: Diamondback terrapins have a gray, light brown, or black top shell (carapace) that is broad and patterned with concentric rings or ridges. The carapace is also wedge-shaped, and when viewed from above, the widest part is in the rear. The under shell (plastron) can range from yellowish to greenish gray, with or without bold, dark markings. The large feet are webbed, and the head and limbs may be spotted. Male terrapins are smaller than the female, weighing an average of 0.5 pounds and measuring 4-5.5 inches in length. Females weigh an average of 1.5 pounds and measure 6-9 inches long.

Habitat and Diet: Diamondback terrapins live in the brackish water of salt marshes, estuaries, and tidal creeks. They feed on fish, marine snails, crabs, marine and tidal mollusks, carrion, clams, and worms.

Life History: Adult terrapins nest on sandy borders of coastal salt marshes or in dunes from June to July. Maximum egg-laying activity usually occurs at high tide, ensuring that the eggs will be laid above the high water level. The females dig cavities 4 to 8 inches deep, depositing 4 to 18 pinkish white eggs (average 9), which are about 1.5 inches long, leather-like, and thin-shelled, with a blunt end. The eggs hatch in 9 to 15 weeks. The 1 to 1.25-inch hatchlings are patterned similar to the adults, but brighter. Occasionally after hatching, the young may remain in the nest for the first winter, emerging in April and May to head for brackish waters. Multiple nestings during one season have not been documented in Connecticut; however, studies in New York indicate that females lay at least two clutches per nesting season. Females reach sexual maturity in about 7 years; males mature earlier.

Interesting Facts: The diamondback terrapin is the only marine species of turtle that regularly occurs in Connecticut. The turtles hibernate during winter submerged in the mud of tidal creeks.

During the early 1930s, when terrapin numbers decreased, the popularity of this turtle as a food item faded. Terrapin populations have since rebounded with the lack of harvesting pressure.

Adult terrapins are often seen basking on mud flats.

The excess salt that terrapins consume in their diet is excreted through special glands at the eye.



Research indicates that diamondback terrapins have temperature-dependent sex determination. Artificial incubation of eggs at low temperatures has produced all male hatchlings, while incubation at higher temperatures has produced all females.

Diamondback terrapin nests are depredated by skunks, raccoons, and foxes. Upon emerging from the nest, young hatchlings are often eaten by gulls, crows, and black-crowned night-herons. Although the hatchlings are less vulnerable to predation when in water, they can still be preyed on by herons and predatory fish.

Terrapins have a long lifespan of about 25 to 40 years.

How You Can Help: You can help conserve Connecticut's diamondback terrapin population by supporting the protection, conservation, and restoration of Connecticut's salt marsh habitats.

If you are a boater, navigate carefully in tidal creeks and estuaries where large numbers of terrapins may gather in late spring to mate at the water's surface. Boaters are also reminded that it is a violation of the Federal Pollution Control Act to pump or discharge any kind of oil into navigable waters. Oil spills have the potential to devastate many coastal wildlife populations, including terrapins.

All turtles should stay in the wild. Not only is collecting a diamondback terrapin illegal in Connecticut, but it can hurt the population. A terrapin taken from the wild often becomes sick and dies. When a captive turtle is released, it is often killed by predators or run over by vehicles as it tries to return to its original home from unfamiliar surroundings.

While driving on coastal roads in June and July, be aware of any turtles that may be crossing the road to nest. If you see a turtle crossing the road, move it to the side that it is headed, if it is safe for you to do so. Do not take the turtle to a "safer" place. Remember, turtles have a home area that they are familiar with and they will try to return there.

(rev. 9/2008)

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Figure 1:
Vicinity Map

1 inch = 2,000 feet





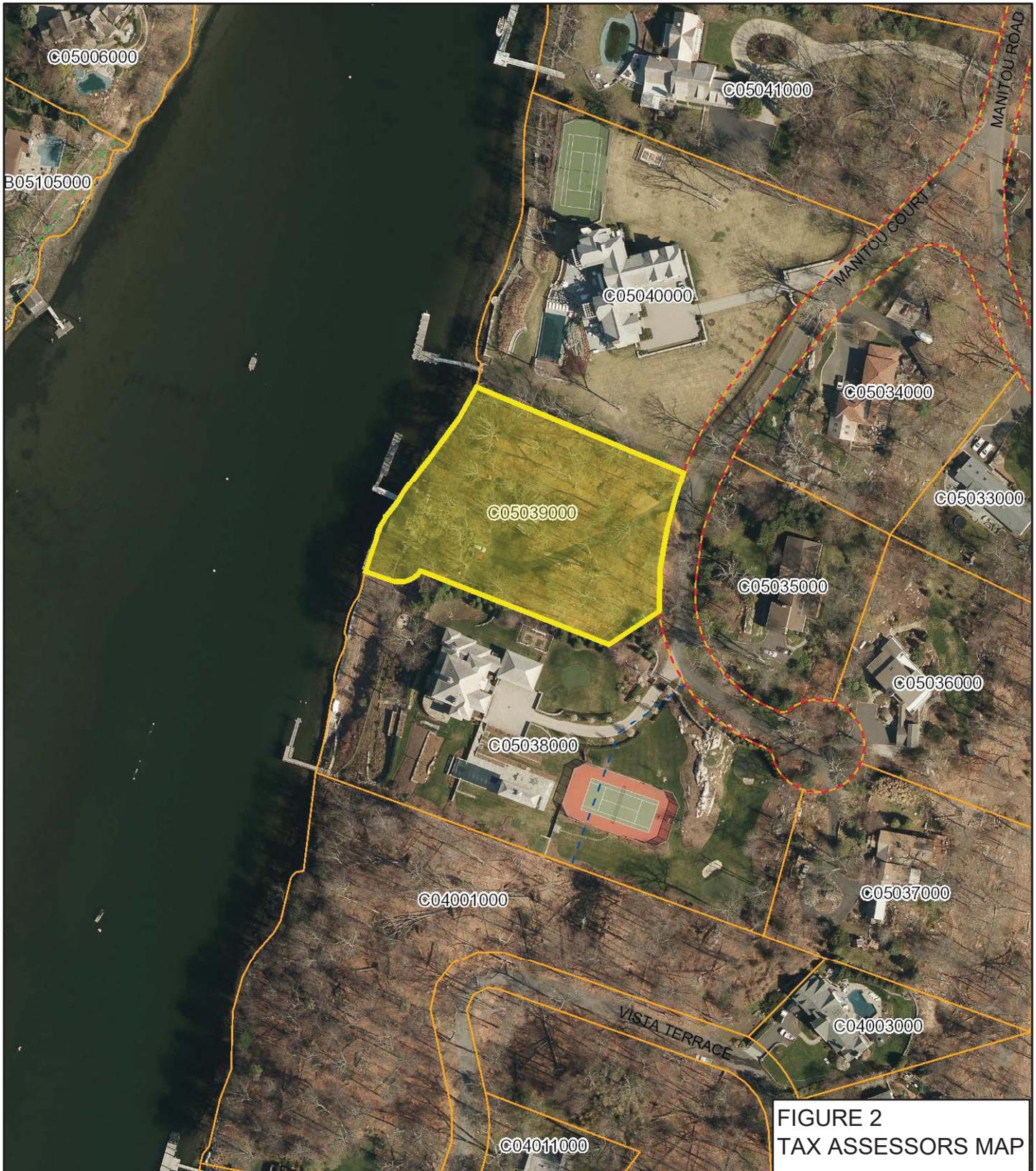
6 Manitou Court

Westport, CT

1 inch = 150 Feet



March 17, 2020

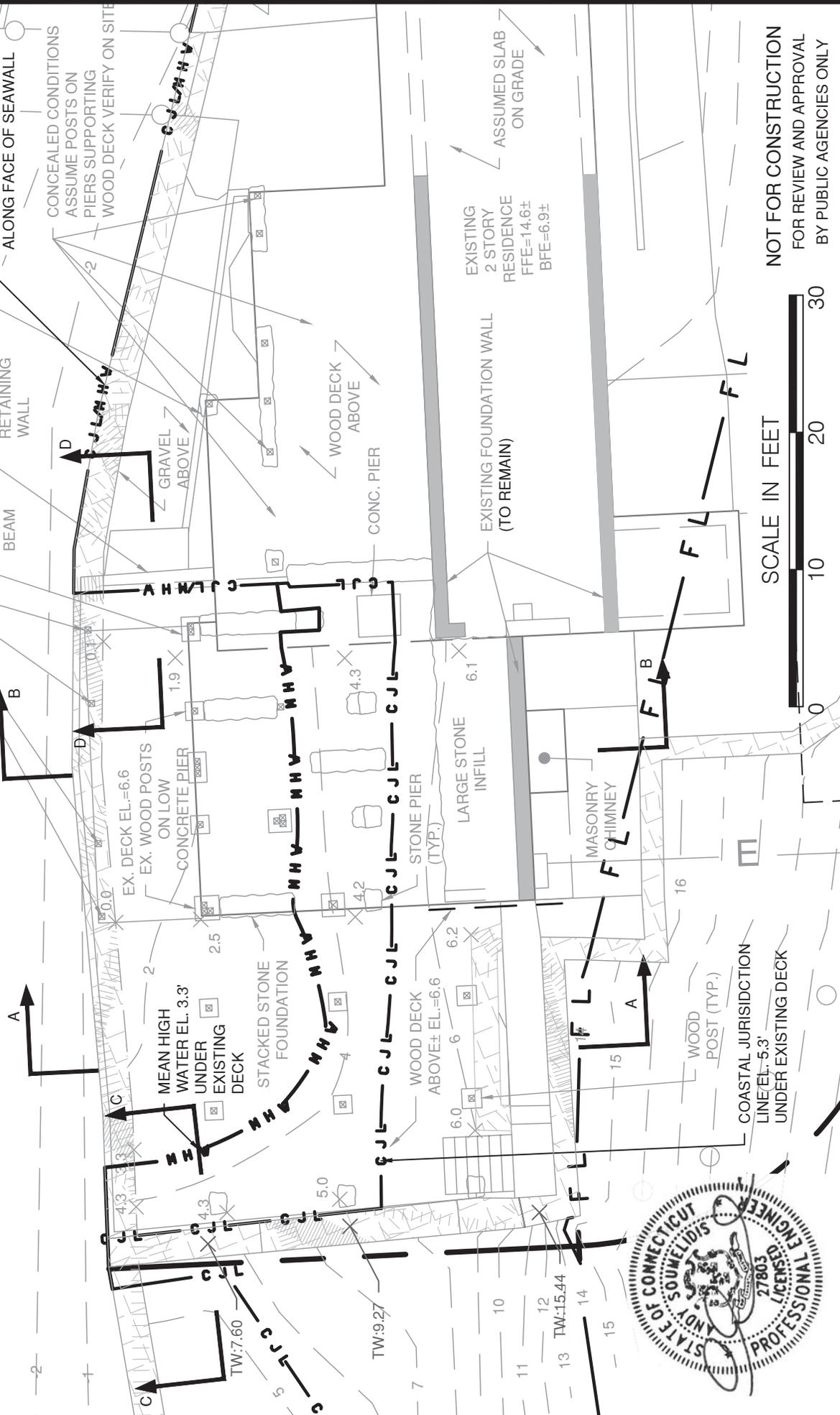


**FIGURE 2
TAX ASSESSORS MAP**

Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

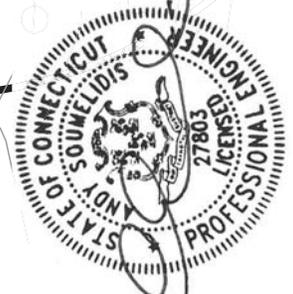
GENERAL NOTES

1. LOT LINE & TOPOGRAPHIC INFORMATION FOR 6 MANITOU COURT TAKEN FROM ZONING MAP OF PROPERTY PREPARED BY DENNIS A. DEILLUS LAND SURVEYORS DATED MARCH 16, 2020, REVISED JUNE 5, 2020



SCALE IN FEET
 0 10 20 30

NOT FOR CONSTRUCTION
 FOR REVIEW AND APPROVAL
 BY PUBLIC AGENCIES ONLY



<p>REPREPARED FOR: JOHN DESMOND BUILDERS</p>		<p>PROJECT NO. 20020-01</p>	
		<p>SCALE 1" = 10'</p>	<p>DATE 6/24/2020</p>
<p>PROJECT LOCATION: 6 MANITOU COURT WESTPORT, CT</p>		<p>DRAWN BY: SM</p>	
<p>TITLE: PROPOSED HOUSE RAISING AND DOCK MODIFICATION PLANS EXISTING CONDITIONS & DEMOLITION PLAN</p>		<p>CREATED BY: TR</p>	
<p>LANDTECH</p> <p>Civil Engineering Site Planning Surveying Structural Engineering Land Surveying Permit Coordinating & Management Construction Management & Financing</p> <p>518 Riverside Avenue • Westport, Connecticut 06880 • 203-454-2110 • info@landtechconsult.com</p>		<p>REVISION DATE</p>	<p>ISSUE</p>
		<p>FIG-3A</p>	

GENERAL NOTES

1. LOT LINE & TOPOGRAPHIC INFORMATION FOR 6 MANITOU COURT TAKEN FROM ZONING MAP OF PROPERTY PREPARED BY DENNIS A. DEILLUS LAND SURVEYORS DATED MARCH 16, 2020, REVISED JUNE 5, 2020

SAUGATICK RIVER



MEAN HIGH WATER EL. 3.3'
UNDER EXISTING DECK

COASTAL JURISDICTION LINE
EL. 5.3'
UNDER EXISTING DECK

RETAINING WALL
UNDER DECK

BALCONY OVER
WOODEN DECK

EXISTING 24'X3'
METAL
GANGWAY
TO REMAIN

AT-GRADE
WOOD DECK

SILT FENCE ALONG
TOP OF SEAWALL

REPLACE EX. 24'X8'
FLOOR WITH
27.5'X7' FLOOR

EXISTING 30'X6'
WOOD PIER
TO REMAIN

TEMPORARY
SOIL STOCKPILE

MEAN HIGH WATER EL. 3.3' &
COASTAL JURISDICTION LINE EL. 5.3'
AT FACE OF SEAWALL

165 LF GRAVEL TRENCH
LIP EL.=17.0
STONE INV.=15.0

STABILIZE 2:1 SLOPE WITH
DENSE VEGETATION

TIDAL
WETLANDS
LIMIT

MACHINERY
ACCESS
PATH PRIOR
TO HOUSE
CONSTRUCTION

4,300 GALLON
SEPTIC-TANK
(APPROX. LOG)

GRASS

EDGE OF WATER

RAMP

SCATTERED
POPULATION
OF SPARTINA

GRASS

ZONE VE 14

ZONE VE 13

CONSTRUCT NEW
WOOD DECK AND
SUPPORTS
TOP OF DECKING
AT EL.=6.2

EXISTING RESIDENCE TO
BE ELEVATED TO
FFE=21.0



SPECIAL FLOOD
HAZARD-BOUNDARY
LINE EL.=14.0

PROPOSED
PERVIOUS
PARKING
COURT

PROPOSED BARN
ADDITION
FFE=32.0
LFE=21.0

WATER
FEATURE

SCALE IN FEET



NOT FOR CONSTRUCTION
FOR REVIEW AND APPROVAL
BY PUBLIC AGENCIES ONLY

PROJECT No.	20020-01
SCALE	1" = 30'
DATE	3/16/2020
DRAWN BY:	SM
CHECKED BY:	TR
PREPARED FOR:	JOHN DESMOND BUILDERS
PROJECT LOCATION:	6 MANITOU COURT WESTPORT, CT
TITLE:	PROPOSED HOUSE RAISING AND DOCK MODIFICATION PLANS PROPOSED CONDITIONS

REVISION DATE	ISSUE
4/23/20	REVISED TO SHOW DECK, BATHHOUSE DETAIL
4/23/20	REVISED PER DEEP COMMENTS

LANDTECH

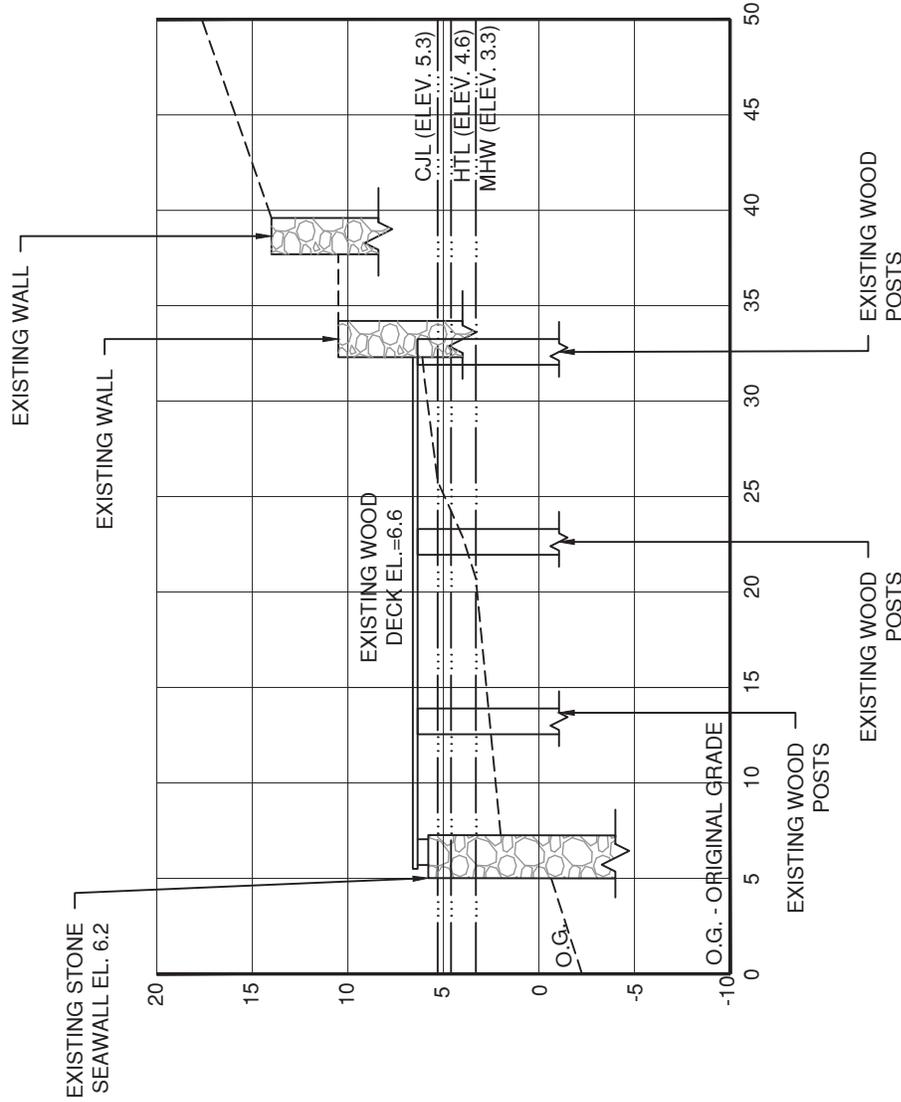
Civil Engineering Site Planning
Structural Engineering
Structural Engineering Land Surveying
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FIG-4

GENERAL NOTES

1. LOT LINE & TOPOGRAPHIC INFORMATION FOR 6 MANITOU COURT TAKEN FROM ZONING MAP OF PROPERTY PREPARED BY DENNIS A. DEILLUS LAND SURVEYORS DATED MARCH 16, 2020, REVISED JUNE 5, 2020



SECTION A - A
 SCALE: HORIZ. 1" = 10'
 VERT. 1" = 10'

SCALE IN FEET
 0 10 20 30
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BY PUBLIC AGENCIES ONLY

REPAIRED FOR:		JOHN DESMOND BUILDERS
PROJECT LOCATION:		6 MANITOU COURT WESTPORT, CT
TITLE:		PROPOSED HOUSE RAISING AND DOCK MODIFICATION PLANS EXISTING CROSS SECTION A-A
PROJECT NO.	20020-01	
SCALE	1" = 10'	DATE
DRAWN BY:	SM	CHECKED BY:
		TR

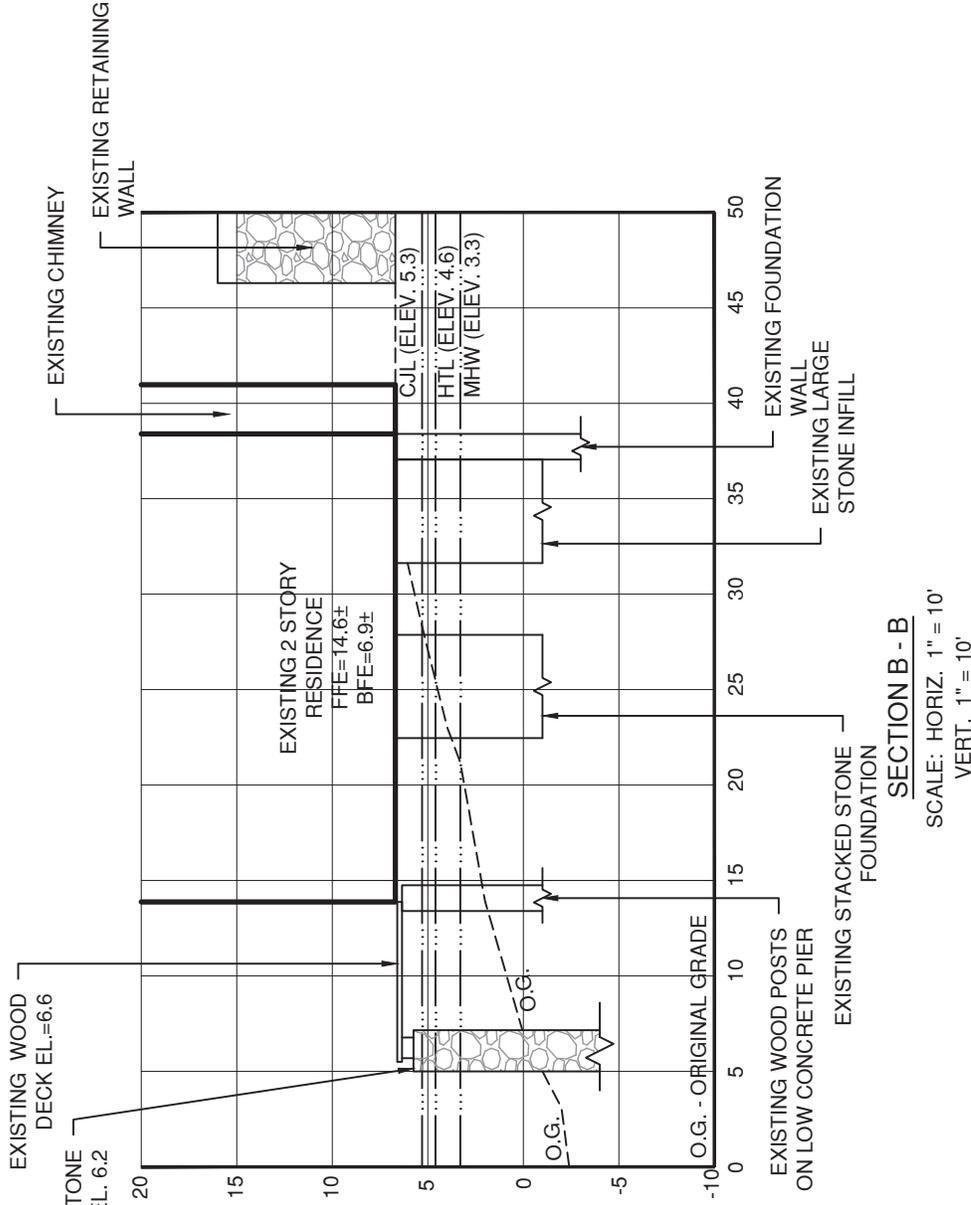
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 Structural Engineering Land Surveying
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 Construction Management & Financing
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6/23/20	REVISED TO SHOW DOCK FOUNDATION
7/2/20	REVISED PER DEEP COMMENTS
	REVISION DATE
	ISSUE

FIG-5

GENERAL NOTES

1. LOT LINE & TOPOGRAPHIC INFORMATION FOR 6 MANITOU COURT TAKEN FROM ZONING MAP OF PROPERTY PREPARED BY DENNIS A. DEILLUS LAND SURVEYORS DATED MARCH 16, 2020, REVISED JUNE 5, 2020



SECTION B - B
 SCALE: HORIZ. 1" = 10'
 VERT. 1" = 10'

SCALE IN FEET
 0 10 20 30
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REPREPARED FOR: JOHN DESMOND BUILDERS	
PROJECT LOCATION: 6 MANITOU COURT WESTPORT, CT	
TITLE: PROPOSED HOUSE RAISING AND DOCK MODIFICATION PLANS EXISTING CROSS SECTION B-B	
PROJECT NO. 20020-01	DATE 3/16/2020
SCALE 1" = 10'	CHECKED BY: TR
DRAWN BY: SM	

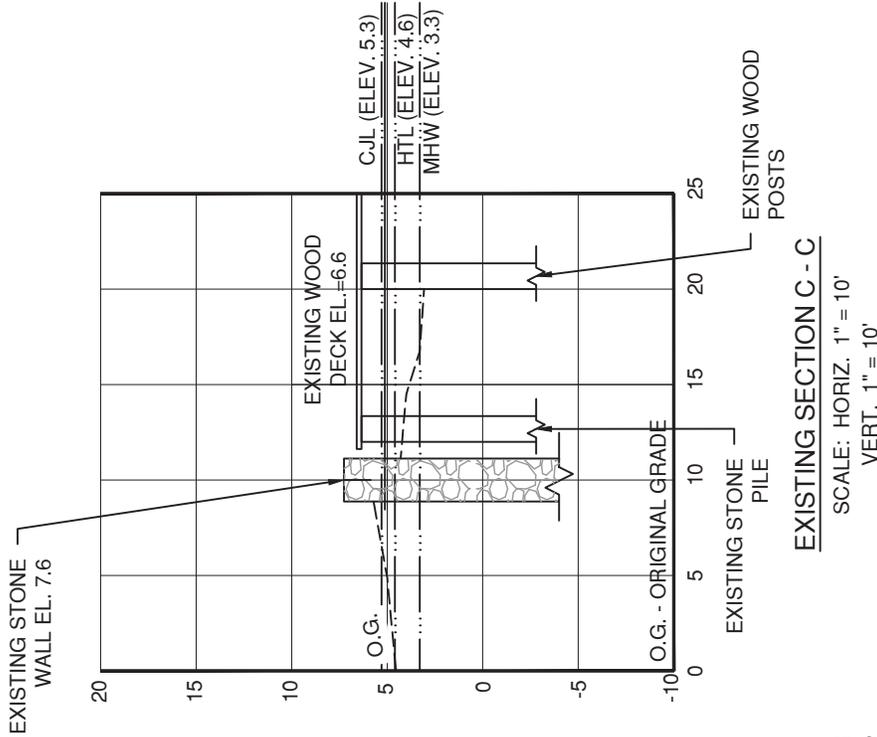
FIG-6

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REVISION DATE	ISSUE
6/23/20	REVISED TO SHOW DECK FOUNDATION
7/27/20	REVISED PER DEEP COMMENTS

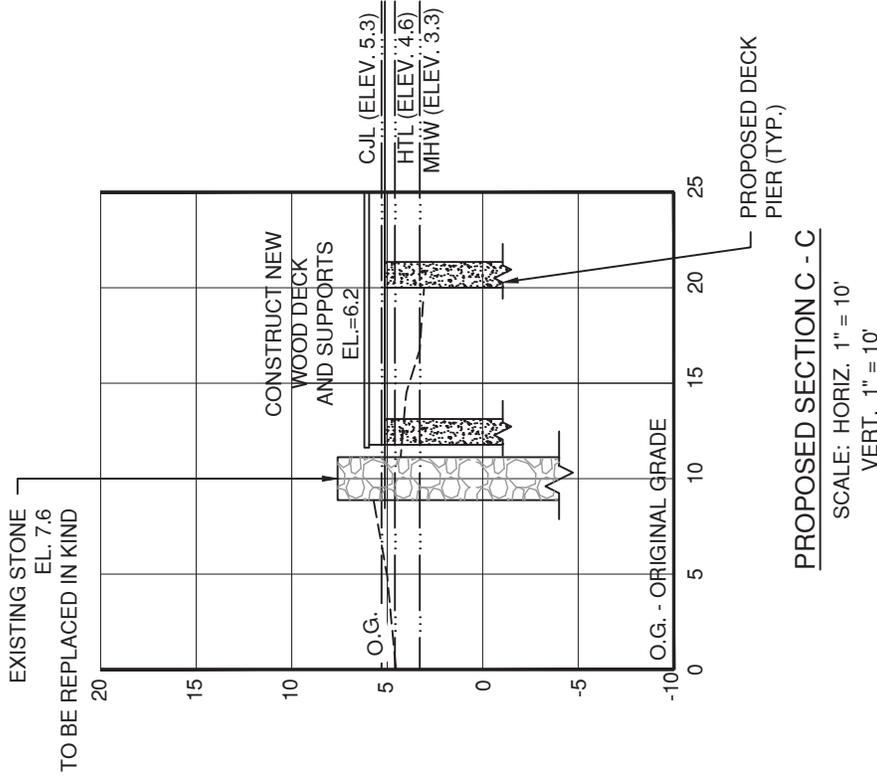
GENERAL NOTES

1. LOT LINE & TOPOGRAPHIC INFORMATION FOR 6 MANITOU COURT TAKEN FROM ZONING MAP OF PROPERTY PREPARED BY DENNIS A. DEILLUS LAND SURVEYORS DATED MARCH 16, 2020, REVISED JUNE 5, 2020



EXISTING SECTION C - C

SCALE: HORIZ. 1" = 10'
VERT. 1" = 10'



PROPOSED SECTION C - C

SCALE: HORIZ. 1" = 10'
VERT. 1" = 10'

SCALE IN FEET
0 10 20 30

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BY PUBLIC AGENCIES ONLY



PREPARED FOR:	JOHN DESMOND BUILDERS
PROJECT LOCATION:	6 MANITOU COURT WESTPORT, CT
TITLE:	PROPOSED HOUSE RAISING AND DOCK MODIFICATION PLANS CROSS SECTION C-C

PROJECT No.	20020-01
SCALE	1" = 10'
DATE	8/25/2020
DRAWN BY:	SM
CHECKED BY:	TR

FIG-9

LANDTECH

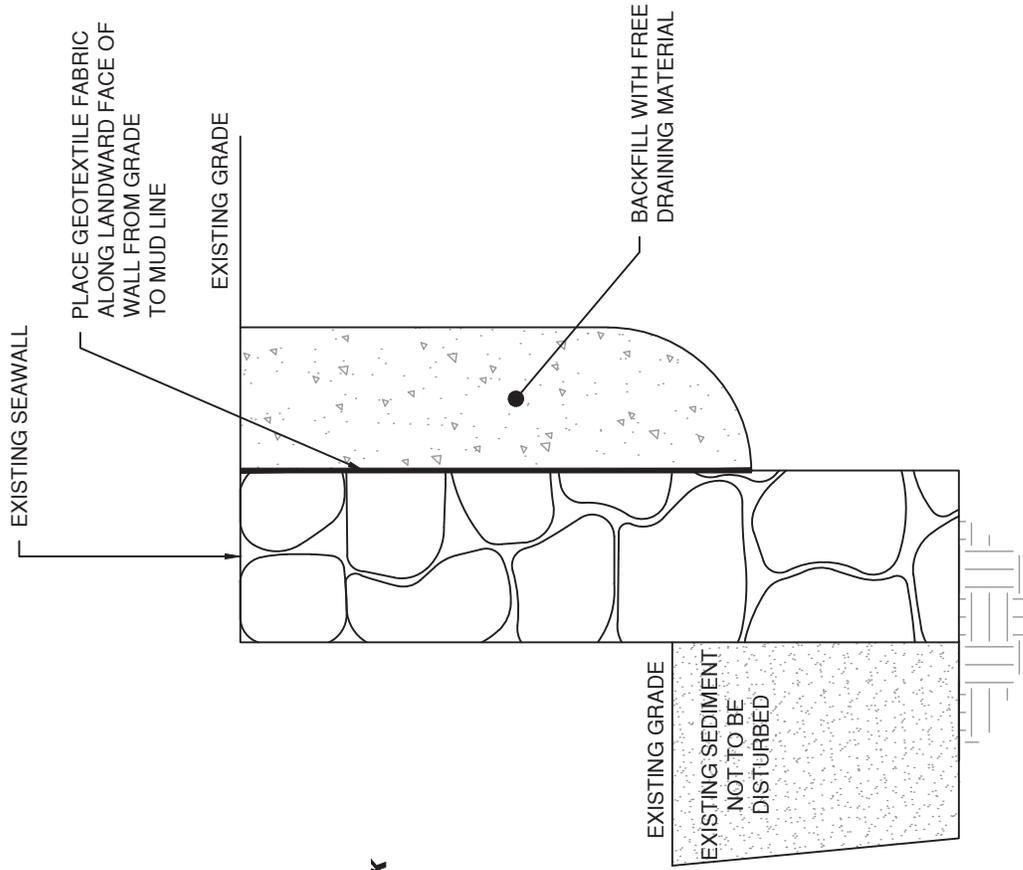
Civil Engineering Site Planning
Structural Engineering
Structural Engineering Land Surveying
Permit Coordinating & Management
Construction Management & Financing

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REVISION DATE	ISSUE

GENERAL NOTES

1. LOT LINE & TOPOGRAPHIC INFORMATION FOR 6 MANITOU COURT TAKEN FROM ZONING MAP OF PROPERTY PREPARED BY DENNIS A. DEILLUS LAND SURVEYORS DATED MARCH 16, 2020, REVISED JUNE 5, 2020



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GEOTEXTILE FABRIC DETAIL
(NTS)



REPREPARED FOR: JOHN DESMOND BUILDERS	
PROJECT LOCATION: 6 MANITOU COURT WESTPORT, CT	
TITLE: PROPOSED HOUSE RAISING AND DOCK MODIFICATION PLANS DETAILS	
PROJECT No.:	20020-01
SCALE:	DATE:
1" = 10'	6/24/2020
DRAWN BY:	CHECKED BY:
SM	TR

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Structural Engineering, Land Surveying,
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REVISION DATE	ISSUE

FIG-11

CONSTRUCTION/REPAIR SEQUENCE

General Construction Notes

- Due to the potential presence of diamond back terrapins adjacent to the project area, all workers will be given the DEEP's Fact Sheet and educated on the species. If any worker observes a turtle along the shoreline, they will be instructed to contact the biologist so that the turtle sighting can be recorded with the DEEP.
- All work is to be performed on the landward side of the existing seawall.

Boathouse Lift and Renovation

- Install access way for heavy equipment and silt fencing along top of seawall.
- Properly install silt fencing around the stockpile area just north of the house as shown on Figure 4.
- Remove the existing 860 ± sf wooden deck adjacent to the house using machinery and hand labor.
- Demolish lower level of existing boat house.
- During low tide excavate material down to ledge using heavy equipment (elevation of ledge +/- 0.5') for the cribbing footings. All the cribbing footings are located outside of the states jurisdiction. Store excavated material in stockpile area.
- Install cribbing and elevate the existing house.
- Demolish existing foundation walls and remove 20 piers of the existing deck and house.
- During low tide, remove approximately 15 cy of material down to ledge (elevation of ledge +/- 0.5') using heavy equipment for the foundation footings within the states jurisdiction. Store excavated material in stockpile area.
- During low tide, form and pour 62 concrete footings (19 of which are waterward of the CJL and within the State's jurisdiction) for the new deck and 14 house foundations footings, 3 of which are within the State's jurisdiction.
- Once the concrete has cured and work is complete, backfill the area around the new footings to previous grades.
- Construct masonry piers on each of the foundations to support new house and deck.
- Set house on new pier foundations and remove cribbing.
- Complete the framing and decking for the new 1,400± sf wood deck.
- As work progresses landward up the slope, additional erosion and sediment controls shall be installed as part of the overall site development plan and the project shall adhere to best management practices.

Seawall

- Reset any stones that have fallen from the seawall by hand.

Northern Return Wall

- Excavate a 24 foot long trench along the northern side of the wooden retaining wall and house foundation.
- Remove existing 14± foot long by 1 foot wide wooden retaining wall and house foundation walls.
- Construct new 24± foot long by 1± foot wide concrete wall in same location and dimensions.
- Backfill soil along northern side of wall.

Stone Wall Along Southern Property Line

- Notify neighbor to the south at least three days prior to starting work.
- Replace western 11± foot long by 22" wide section of the 35± wall by hand and small machinery using standard masonry practices.
- Repair remaining sections of wall by hand as needed.

Dock

- Independently of the above tasks, replace the existing 24' X 8' float with a 27.5 X 7' float.

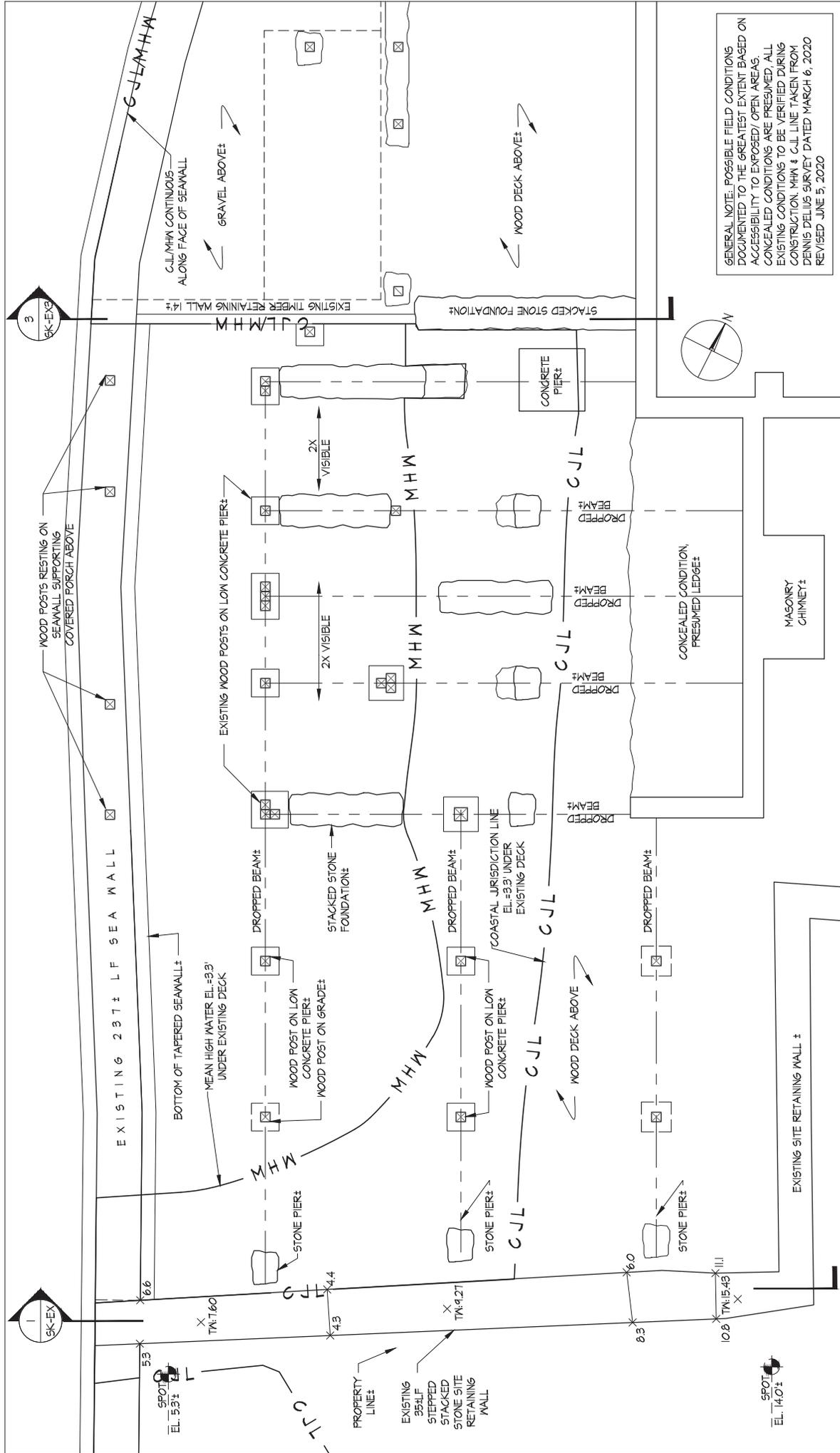
The following Structures are Requested to be Retained.

- Dock consisting of a 30' X 6' fixed pier, a 24' X 3' metal gangway and 27.5 X 7' float.
- 35± foot long by 22 inch wide stone wall with variable top elevations along the southern property line.
- 237± lf pre 1939 seawall (which does not need to be authorized but is listed here to provide a complete list)



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PREPARED FOR: JOHN DESMOND BUILDERS	PROJECT LOCATION: 6 MANITOU COURT WESTPORT, CT
TITLE: PROPOSED HOUSE RAISING AND DOCK MODIFICATION PLANS CONSTRUCTION SEQUENCE	
PROJECT No. 20020-01	
SCALE NTS	DATE 3/16/2020
DRAWN BY: SM	CHECKED BY: TR
FIG-12	

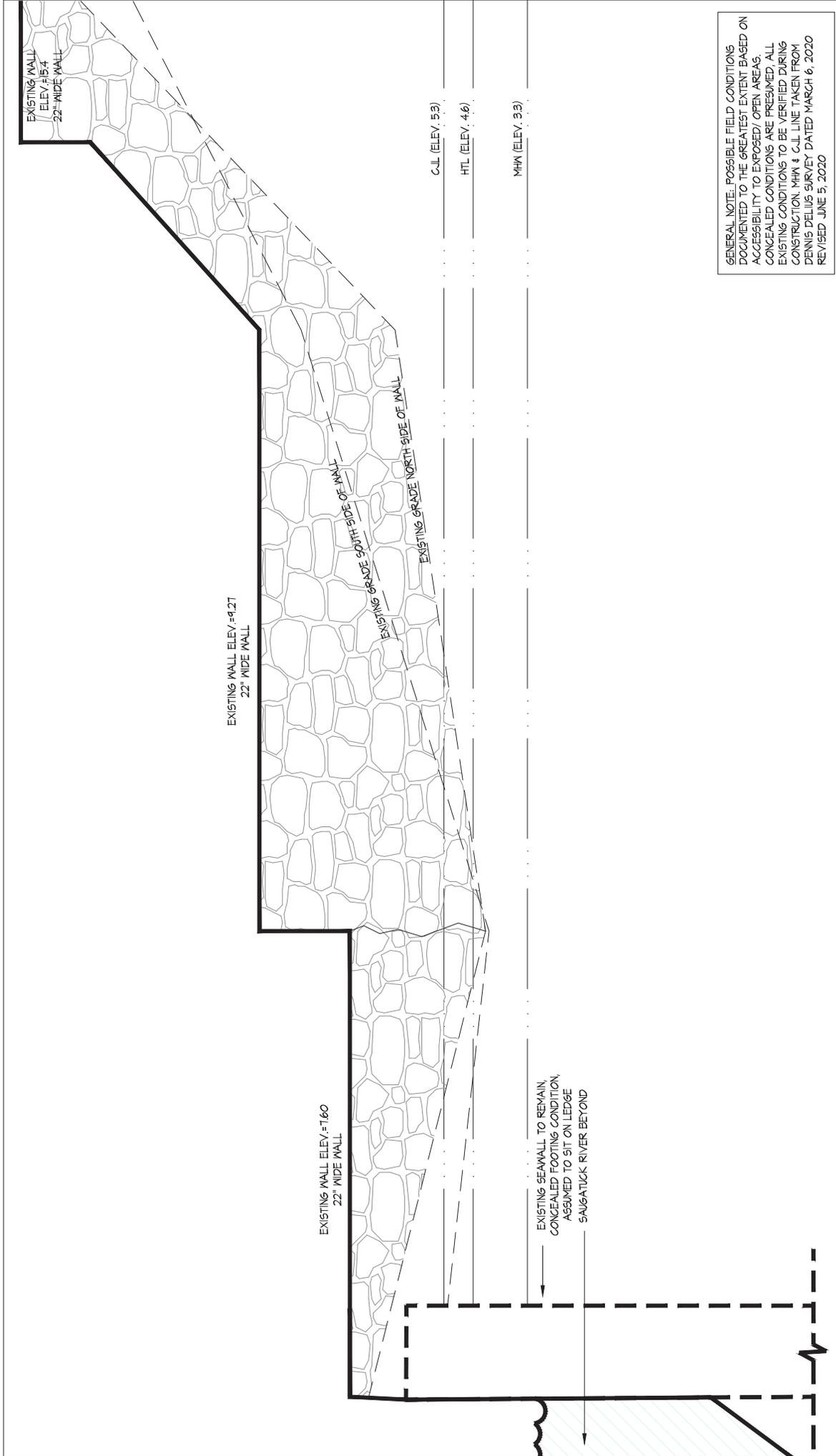


GENERAL NOTE: POSSIBLE FIELD CONDITIONS DOCUMENTED TO THE GREATEST EXTENT BASED ON ACCESSIBILITY TO EXPOSED OPEN AREAS. CONCEALED CONDITIONS ARE PRESUMED, ALL EXISTING CONDITIONS TO BE VERIFIED DURING CONSTRUCTION. MHW & CJL LINE TAKEN FROM DENNIS DELIUS SURVEY DATED MARCH 6, 2020 REVISED JUNE 5, 2020

PROJECT #	1913
DRAWING #	DJM
SCALE	1/4"=1'-0"
DATE	7/7/20

PROJECT: MCINERNEY BOAT HOUSE
 DRAWING: PARTIAL EXISTING FOUNDATION PLAN SKETCH

ROBERT A. CARDELLI ARCHITECTS LLC
 60 POST ROAD WEST
 WESTPORT, CONNECTICUT 06880
 GREENWICH, CONNECTICUT 06830
 TEL. 203.853.2524



EXISTING WALL
ELEV. #15.4
22" WIDE WALL

EXISTING WALL ELEV. = 9.27
22" WIDE WALL

EXISTING WALL ELEV. = 11.60
22" WIDE WALL

EXISTING GRADE SOUTH SIDE OF WALL

EXISTING GRADE NORTH SIDE OF WALL

C.L.L. (ELEV. 5.3)

HTL (ELEV. 4.6)

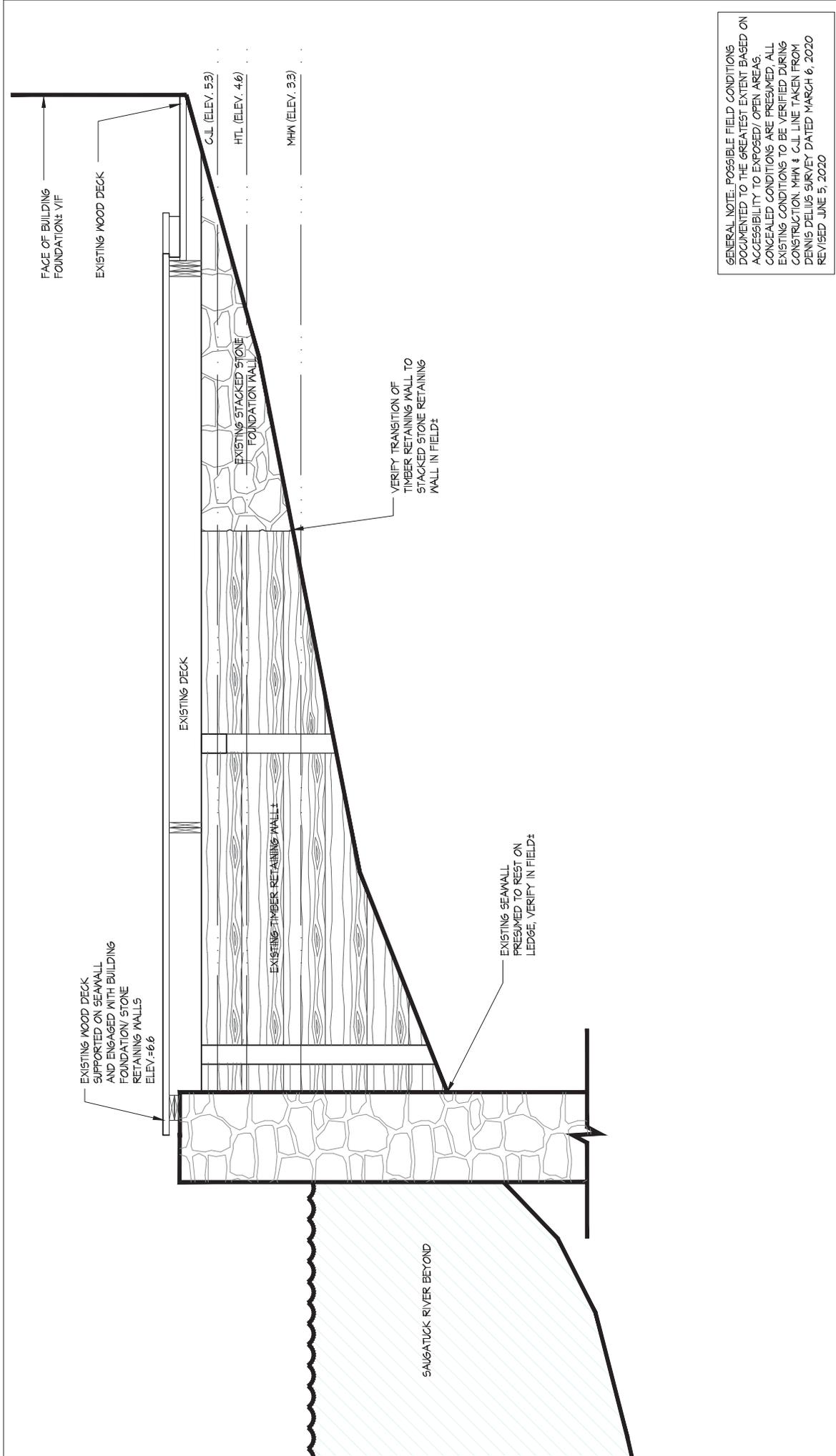
MHW (ELEV. 3.3)

EXISTING SEAWALL TO REMAIN
CONCEALED FOOTING CONDITION,
ASSUMED TO SIT ON LEDGE
SAUGATUCK RIVER BEYOND

GENERAL NOTE: POSSIBLE FIELD CONDITIONS DOCUMENTED TO THE GREATEST EXTENT BASED ON ACCESSIBILITY TO EXPOSED OPEN AREAS. CONCEALED CONDITIONS ARE PRESUMED, ALL EXISTING CONDITIONS TO BE VERIFIED DURING CONSTRUCTION. MHW & C.L.L. LINE TAKEN FROM DENNIS DELIUS SURVEY DATED MARCH 6, 2020 REVISED JUNE 5, 2020

PROJECT:	MCINERNEY BOAT HOUSE	PROJECT #:	1913	DRAWING #:	SK-192
DRAWING:	EXISTING RETAINING WALL SECTION	DRAWN BY:	DJM	SCALE:	1/2" = 1'-0"
		DATE:	7/7/20		

ROBERT A. CARDELLI
ARCHITECTS LLC
60 POST ROAD WEST
WESTPORT, CONNECTICUT 06880
GREENWICH, CONNECTICUT 06830
TEL: 203.853.2524



GENERAL NOTE: POSSIBLE FIELD CONDITIONS DOCUMENTED TO THE GREATEST EXTENT BASED ON ACCESSIBILITY TO EXPOSED OPEN AREAS. CONCEALED CONDITIONS ARE PRESUMED, ALL EXISTING CONDITIONS TO BE VERIFIED DURING CONSTRUCTION. MHH & C.L. LINE TAKEN FROM DENNIS DELIUS SURVEY DATED MARCH 6, 2020 REVISED JUNE 5, 2020

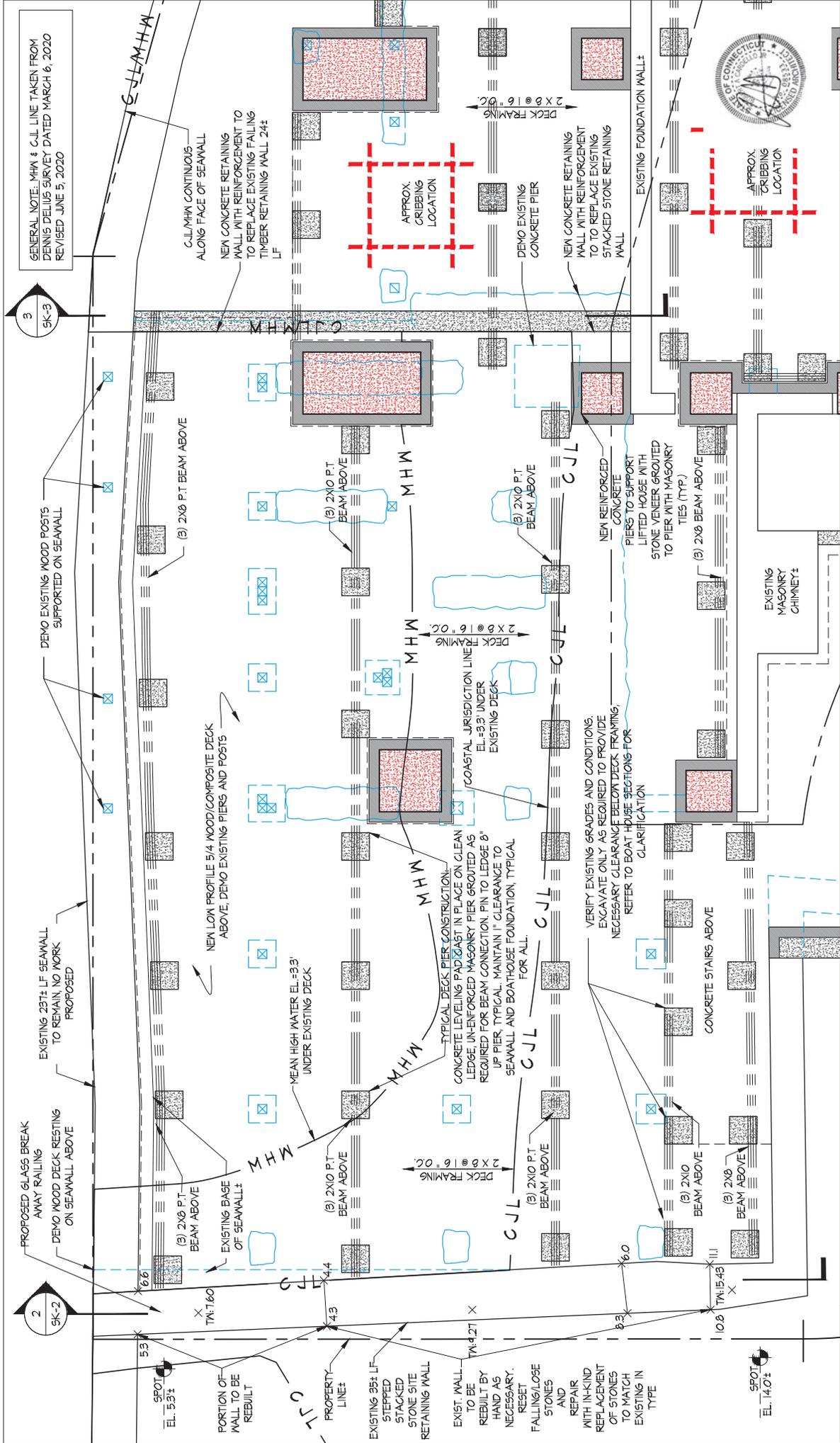
PROJECT #	1913
DRAWING #	DJM
SCALE	1/2"=1'-0"
DATE	7/7/20

PROJECT: MCINERNEY BOAT HOUSE
 DRAWING: EXISTING DECK SECTION

ROBERT A. CARDELLI ARCHITECTS LLC
 60 POST ROAD WEST
 WESTPORT, CONNECTICUT 06880
 GREENWICH, CONNECTICUT 06830
 TEL: 203.853.2524

SAUGATUCK RIVER BEYOND

SK-1913



GENERAL NOTE: MHW & C.J.L. LINE TAKEN FROM DENNIS DELIUS SURVEY DATED MARCH 6, 2020 REVISED JUNE 5, 2020

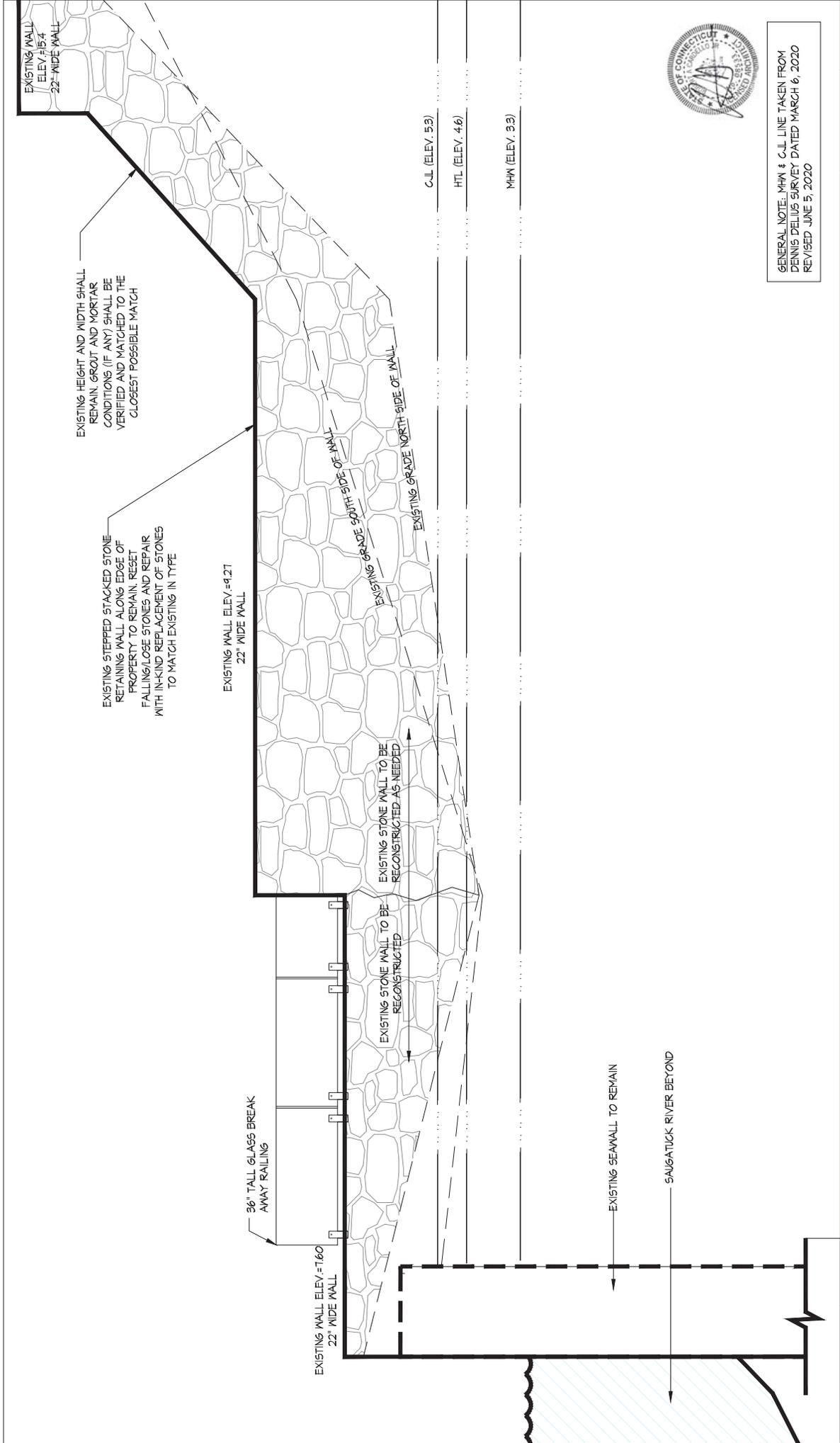
3
SK-3

2
SK-2

PROJECT # 1913
DRAWING # SK-1
DRAWN BY: DJM
SCALE: 1/4"=1'-0"
DATE: 7/20

PROJECT: MCINERNEY BOAT HOUSE
DRAWING: PARTIAL PROPOSED FOUNDATION PLAN
ROBERT A. CARDELLO ARCHITECTS LLC
40 POST ROAD WEST
WESTPORT, CONNECTICUT 06880
GREENWICH, CONNECTICUT 06830
TEL: 203.853.2524





EXISTING HEIGHT AND WIDTH SHALL REMAIN. GROUT AND MORTAR CONDITIONS (IF ANY) SHALL BE VERIFIED AND MATCHED TO THE CLOSEST POSSIBLE MATCH

EXISTING STEPPED STACKED STONE RETAINING WALL ALONG EDGE OF PROPERTY TO REMAIN. RESET FALLING/LOOSE STONES AND REPAIR WITH IN-KIND REPLACEMENT OF STONES TO MATCH EXISTING IN TYPE

EXISTING WALL ELEV.=9.27
22' WIDE WALL

EXISTING WALL
ELEV.=15.4
22'-WIDE WALL

36" TALL GLASS BREAK AWAY RAILING

EXISTING WALL ELEV.=7.60
22' WIDE WALL

EXISTING STONE WALL TO BE RECONSTRUCTED

EXISTING STONE WALL TO BE RECONSTRUCTED AS NEEDED

C.L. (ELEV. 5.3)

HTL (ELEV. 4.6)

MHW (ELEV. 3.3)

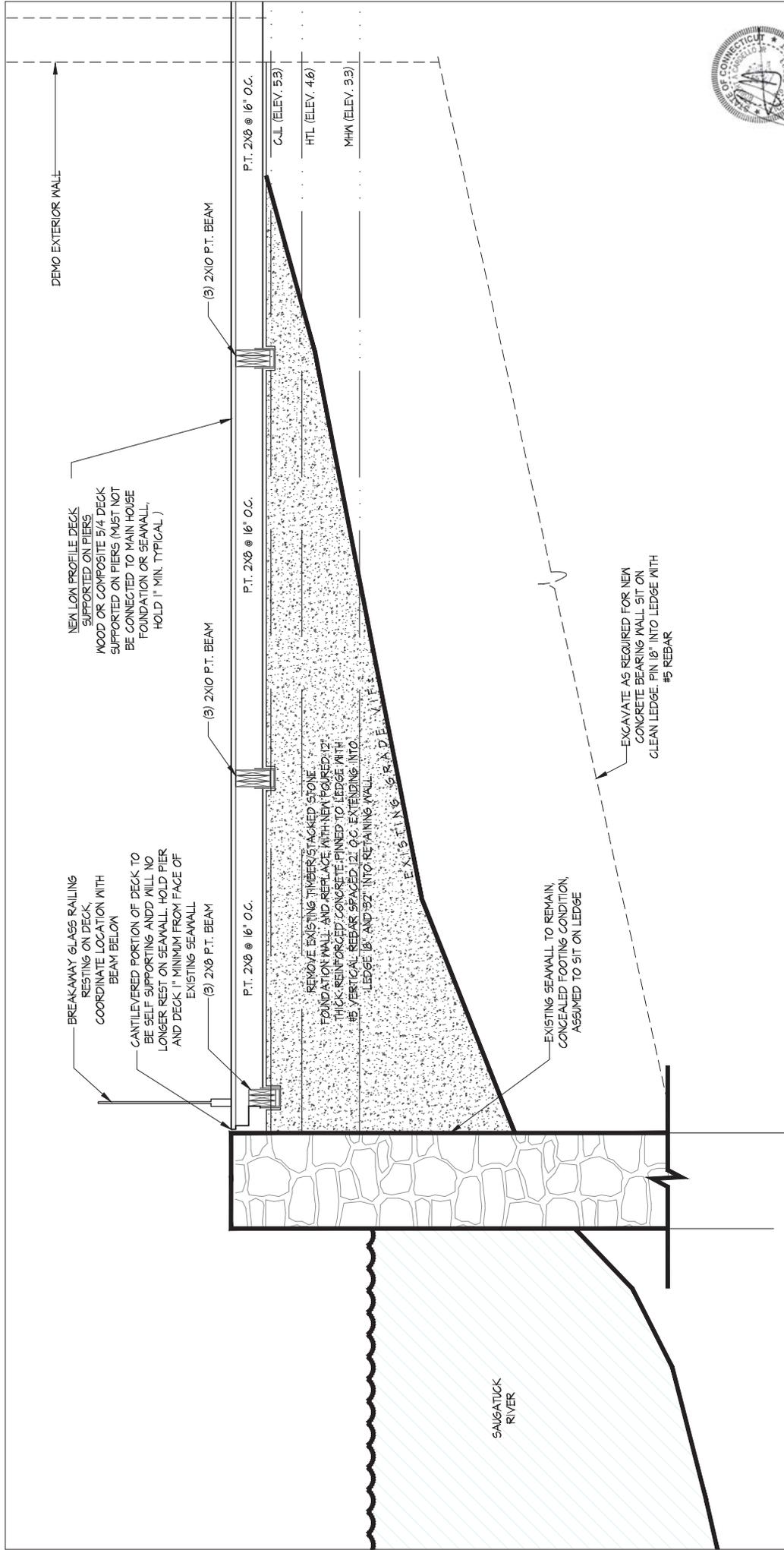
EXISTING SEAWALL TO REMAIN

SAUGATUCK RIVER BEYOND



GENERAL NOTE: MHW & C.L. LINE TAKEN FROM DENNIS DELIUS SURVEY DATED MARCH 6, 2020
REVISED JUNE 5, 2020

PROJECT: MCINERNEY BOAT HOUSE	PROJECT #: 1913	DRAWING #
ARCHITECTS: ROBERT A. CARDELLO ARCHITECTS LLC 60 POST ROAD WEST WESTPORT, CONNECTICUT 06880 GREENWICH, CONNECTICUT 06830 TEL: 203.853.2524	DRAWN BY: DJM	SK-2
DRAWING: PROPOSED RETAINING WALL SECTION	SCALE: 1/2"=1'-0"	DATE: 7/7/20



GENERAL NOTE: MHW & C.L. LINE TAKEN FROM DENNIS DELIUS SURVEY DATED MARCH 6, 2020
 REVISED JUNE 5, 2020

PROJECT # 1913
 DRAWING # DUM
 SCALE: 1/2"=1'-0"
 DATE: 7/20

SK-3

PROJECT: MCINERNEY BOAT HOUSE
 DRAWING: DECK SECTION AT PROPOSED NORTHERN RETAINING WALL

ROBERT A. CARDELLO
 ARCHITECTS LLC
 60 POST ROAD WEST
 WESTPORT, CONNECTICUT 06880
 GREENWICH, CONNECTICUT 06830
 TEL: 203.853.2524



Work Commencement Form

To: Regulatory Section
Department of Energy and Environmental Protection
Land & Water Resources Division
79 Elm Street
Hartford, CT 06106-5127

Licensee Name: 6 Manitou Court, LLC
Municipality in which the project is occurring: Westport
DEEP License No(s): 202005391-COP

CONTRACTOR(s):

1 Name: _____
Address: _____
Telephone: _____
E-mail: _____

2 Name: _____
Address: _____
Telephone: _____
E-mail: _____

3 Name: _____
Address: _____
Telephone: _____
E-mail: _____

Date Contractor(s) received a copy
of the license and approved plans: _____

EXPECTED DATE OF COMMENCEMENT OF WORK: _____

EXPECTED DATE OF COMPLETION OF WORK: _____

LICENSEE: _____
(Signature) (Date)



Compliance Certification Form

The following certification must be signed by the licensee working in consultation with a Connecticut-licensed design professional and must be submitted to the address indicated at the end of this form within ninety (90) days of completion of the authorized work.

1. Licensee Name: <u>6 Manitou Court, LLC</u>	
DEEP License Number(s): <u>202005391-COP</u>	
Municipality in which project is occurring: <u>Westport</u>	
2. Check one:	
(a) <input type="checkbox"/> "I certify that the final site conditions and / or structures are in general conformance with the approved site plans". Identify and describe any deviations and attach to this form.	
(b) <input type="checkbox"/> "The final site conditions and / or structures are not in general conformance with the approved site plans. The enclosed "as-built" plans note the modifications".	
3. "I understand that any false statement in this certification is punishable as a criminal offence under section 53a-157b of the General Statutes and under any other applicable law."	
_____ Signature of Licensee	_____ Date
_____ Name of Licensee (print or type)	
_____ Signature of CT-Licensed Design Professional	_____ Date
_____ Name of CT-Licensed Design Professional (print or type)	
_____ Professional License Number (if applicable)	Affix Stamp Here
<ul style="list-style-type: none"> As-built plans shall include: elevations or tidal datums, as applicable, and structures, including any proposed elevation views and cross sections included in the approved license plans. Such as-built plans shall be the original ones and be signed and sealed by an engineer, surveyor or architect, as applicable, who is licensed in the State of Connecticut. The Licensee will be notified by staff of the Land and Water Resources Division (LWRD) if further compliance review is necessary. Lack of response by LWRD staff does not imply compliance. 	
<p>Submit this completed form to :</p> <p>Regulatory Section Department of Energy and Environmental Protection Land & Water Resources Division 79 Elm Street Hartford, CT 06106-5127</p>	

Land Record Filing*

To: City of Westport Clerk

Signature and

NOTE: Due to the electronic delivery of this license and the legal requirement to have a live signature on this document, the “Land Record Filing” as detailed in General Condition #1 will be sent to you via U.S. Mail.

Date:

Subject: 6 Manitou Court
License # 202005391-COP

If you have any questions pertaining to this matter, please contact the Land & Water Resources Division at 860-424-3019.

Return to:

Land & Water Resources Division
State of Connecticut
Department of Energy & Environmental Protection
79 Elm Street
Hartford, CT 06106-5127

*The Licensee shall file the Land Record Filing on the land records of the municipality in which the subject property is located not later than thirty (30) days after license issuance pursuant to Connecticut General Statutes (CGS) Section 22a-363g. A copy of the Notice with a stamp or other such proof of filing with the municipality shall be submitted to the Commissioner no later than sixty (60) days after license issuance.