




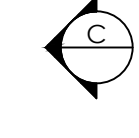
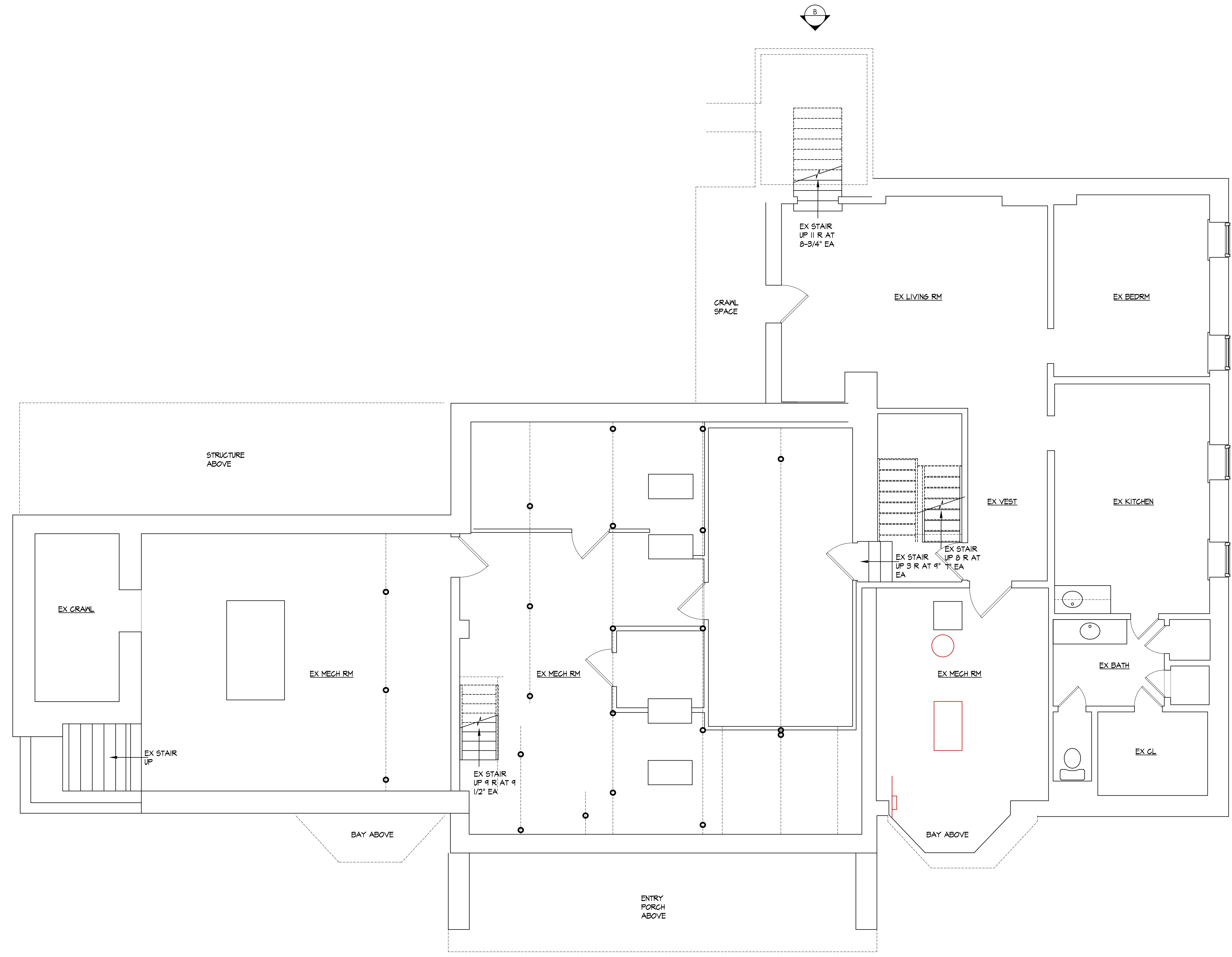
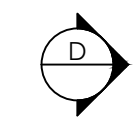


GENERAL NOTES:

1. DIMENSIONS SHOWN FOR NEW CONSTRUCTION ARE TO FACE OF MASONRY, STUD OR FOUNDATION WALL UNLESS OTHERWISE NOTED.
2. DIMENSIONS INDICATING +/- SHALL BE CONFIRMED IN FIELD AND ADJUSTED TO SUIT OTHER FIXED DIMENSIONS INDICATED. ANY CHANGE IN DIMENSION SHALL BE APPROVED BY ARCHITECT.
3. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES.
4. CONTRACTOR SHALL NOT PLACE ANY JOIST ON CENTER WITH A WINDOW OR GROUP OF WINDOWS TO ENSURE PROPER LOCATION OF HVAC GRILLES.
5. CONTRACTOR SHALL PLACE JOISTS IN ORDER TO ENSURE PROPER LIGHT PLACEMENT (SEE ELECTRICAL PLANS).
6. CONTRACTOR SHALL NOT PLACE JOISTS ON CENTER WITH TOILET OR TUB WASTE DROP TO ENSURE PROPER LOCATION OF FIXTURES.
7. INTERIOR WALLS TO BE 2X4 @ 16" O.C., BEARING WALLS TO BE 2X6 @ 16" O.C. WITH 5/8" GWB EACH SIDE UNLESS OTHERWISE NOTED. INTERIOR WALLS @ BATHROOMS AND BEDROOMS SHALL HAVE SOUND PROOF INSULATION.
8. EXTERIOR WALLS TO BE 2X6 @ 16" O.C. WITH 5/8" GWB IN THE INTERIOR FACE, UNLESS OTHERWISE NOTED.

LEGEND:

-  NEW EXTERIOR WALLS
-  NEW INTERIOR WALLS W/ ACOUSTIC INSULATION
-  NEW INTERIOR WALLS
-  NEW CONCRETE WALLS
-  EXISTING WALLS



A EXISTING BASEMENT FLOOR
1/4" = 1'-0"



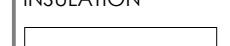
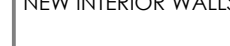

OWNERSHIP AND USE OF DOCUMENTS: THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.

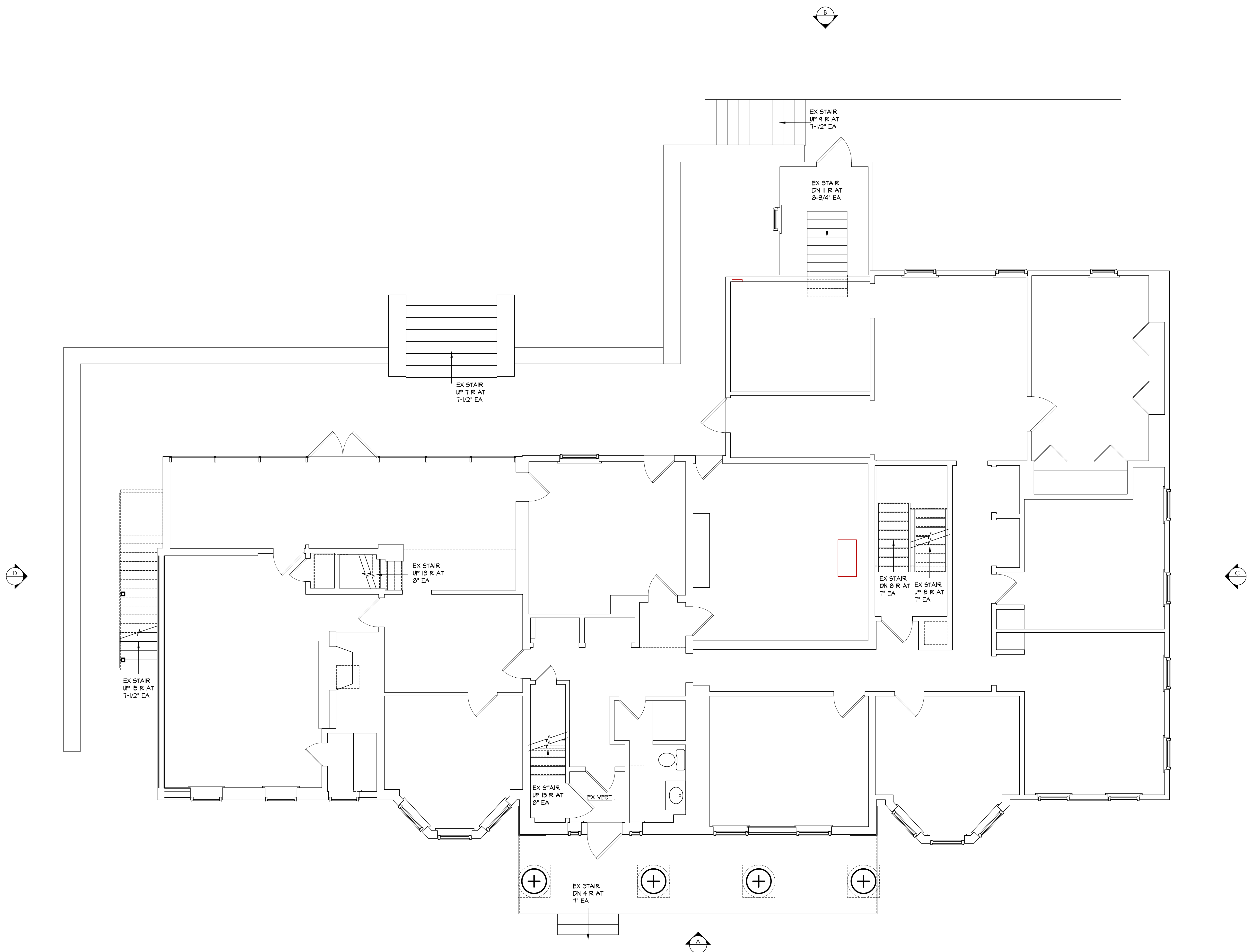
X101	EXISTING BASEMENT FLOOR PLAN		50 WEST APARTMENTS 50 W POST ROAD, WESTPORT CT, 06880	BOTERO BUILD DESIGN / CONSTRUCTION GROUP	EVA STUDIO DESIGN & BUILD
	DATE: 12-08-2025	DRAWN BY: E. DASILVA	CHECKED BY: T. BOTERO	TOMAS BOTERO TOMAS@BOTERODCG.COM	ERIKA DASILVA EVA@EVA.STUDIODESIGN@GMAIL.COM
DRAWING SET:12-08-2025			NOT FOR CONSTRUCTION		

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-  NEW INTERIOR WALLS W/ ACOUSTIC INSULATION
-  NEW INTERIOR WALLS
-  NEW CONCRETE WALLS
-  EXISTING WALLS



A EXISTING FIRST FLOOR
1/4" = 1'-0"

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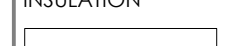
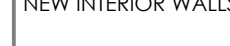

INDENTURE AND HOLD HARMLESS, ACCRUE, THE CONTRACTOR AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER, DESIGNER, AND PROJECT MANAGER, THEIR AGENTS, EMPLOYEES, FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF PERFORMANCE OF THE WORK, WHICH ARE (1) FOR BODILY INJURY, ILLNESS, OR DEATH, OR FOR PROPERTY DAMAGE, INCLUDING LOSS OF USE, AND (2) FOR THE INDEMNIFYING PARTY'S NEGLIGENCE. THIS AGREEMENT TO INDEMNIFY AND HOLD HARMLESS IS NOT APPLICABLE TO INDEMNIFY AND HOLD HARMLESS IN CONNECTION WITH THE NEGLIGENCE OF THE ARCHITECT, DESIGNER, OR PROJECT MANAGER. AGENTS OR EMPLOYEES, ARISING OUT OF THE PREPARATION OR APPROVAL OF REPORTS, OPINIONS, SURVEYS, MAPS, DRAWINGS, DESIGN, OR SPECIFICATIONS.

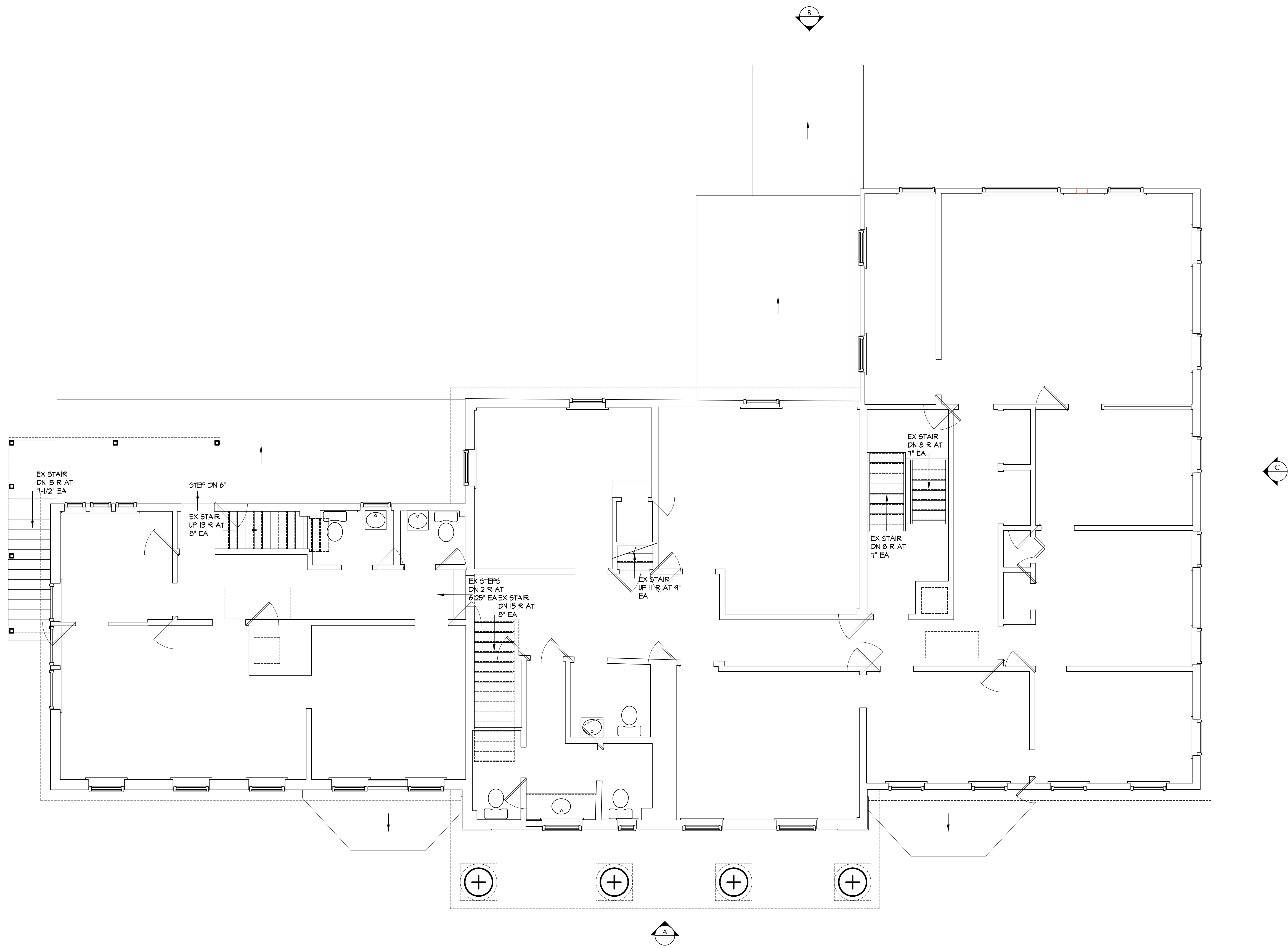
<p>EVA STUDIO DESIGN & BUILD</p> <p>ERIKA DASILVA EVA.FCH.STUDIODESIGN@GMAIL.COM</p>	<p>BOTERO BUILD DESIGN / CONSTRUCTION GROUP</p> <p>TOMAS BOTERO TOMAS@BOTERODCG.COM</p>	<p>50 WEST APARTMENTS 50 W POST ROAD, WESTPORT CT, 06880</p>	<p>DATE: 12-08-2025</p>	<p>DRAWN BY: E. DASILVA</p>	<p>CHECKED BY: T. BOTERO</p>
			<p>DRAWING SET: 12-08-2025</p>	<p>NOT FOR CONSTRUCTION</p>	
<p>EXISTING FIRST FLOOR PLAN</p>		<p>X102</p>			

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-  NEW INTERIOR WALLS
-  NEW CONCRETE WALLS
-  EXISTING WALLS



A EXISTING SECOND FLOOR
1/4" = 1'-0"

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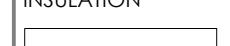
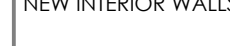

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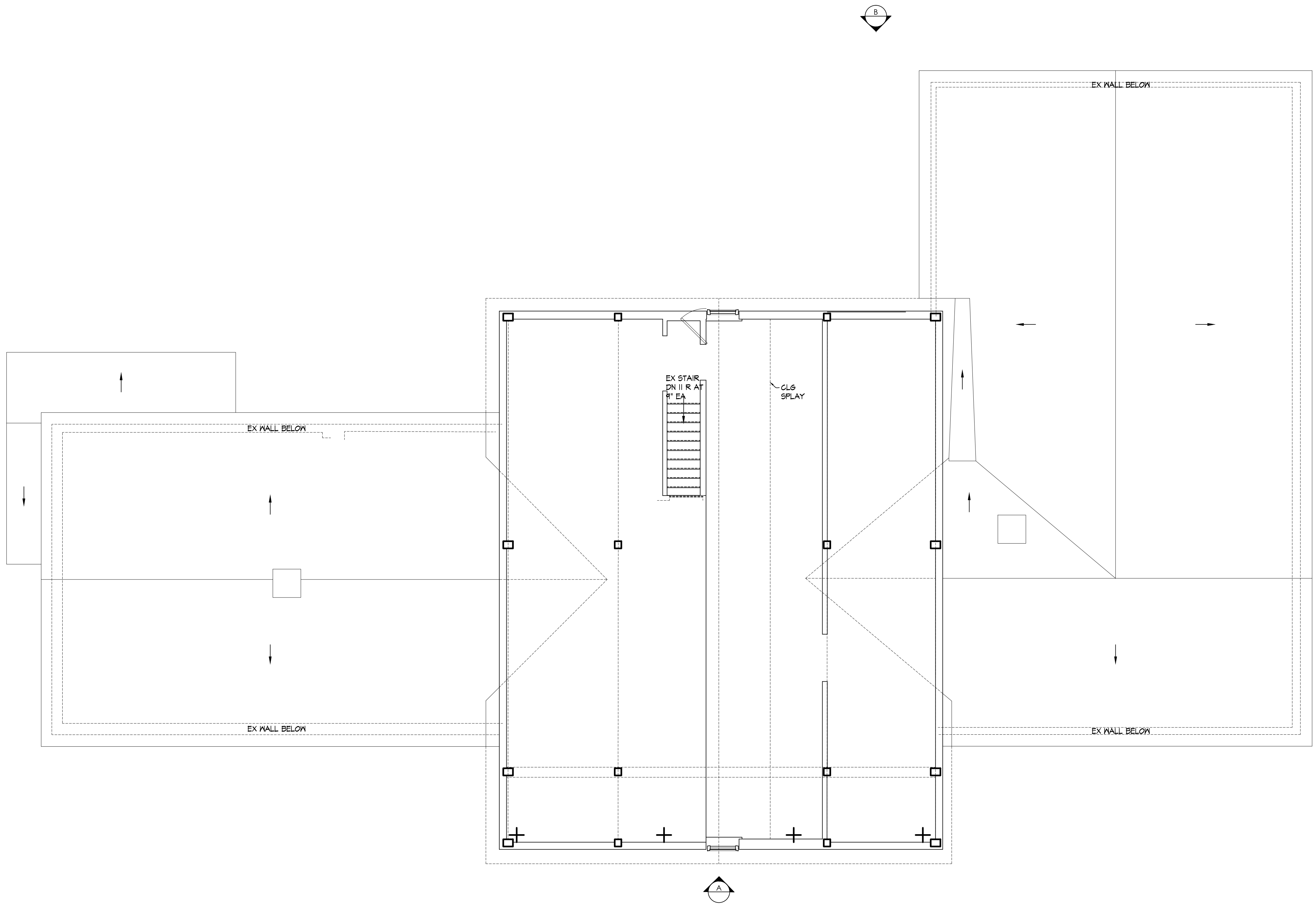
X103	EXISTING SECOND FLOOR PLAN		DATE: 12-08-2025 DRAWN BY: E. DASILVA CHECKED BY: T. BOTERO	50 WEST APARTMENTS 50 W POST ROAD, WESTPORT CT, 06880	BOTERO BUILD DESIGN / CONSTRUCTION GROUP TOMAS BOTERO TOMAS@BOTERODCG.COM	EVA STUDIO DESIGN & BUILD ERIKA DASILVA EVA@EVA-STUDIODESIGN.GMAIL.COM
	DRAWING SET:12-08-2025					

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A EXISTING ATTIC FLOOR
1/4" = 1'-0"

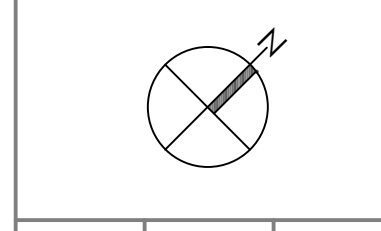
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EVA STUDIO
DESIGN & BUILD
ERIKA DASILVA
EVA.FCH.STUDIODESIGN@GMAIL.COM

BOTERO
BUILD DESIGN / CONSTRUCTION GROUP
TOMAS BOTERO
TOMAS@BOTERODCG.COM

50 WEST APARTMENTS
50 W POST ROAD, WESTPORT CT, 06880



DATE:	12-08-2025
DRAWN BY:	E. DASILVA
CHECKED BY:	T. BOTERO

DRAWING SET:12-08-2025
REVISIONS:	

EXISTING ROOF PLAN






X104

NOT FOR CONSTRUCTION

GENERAL NOTES:

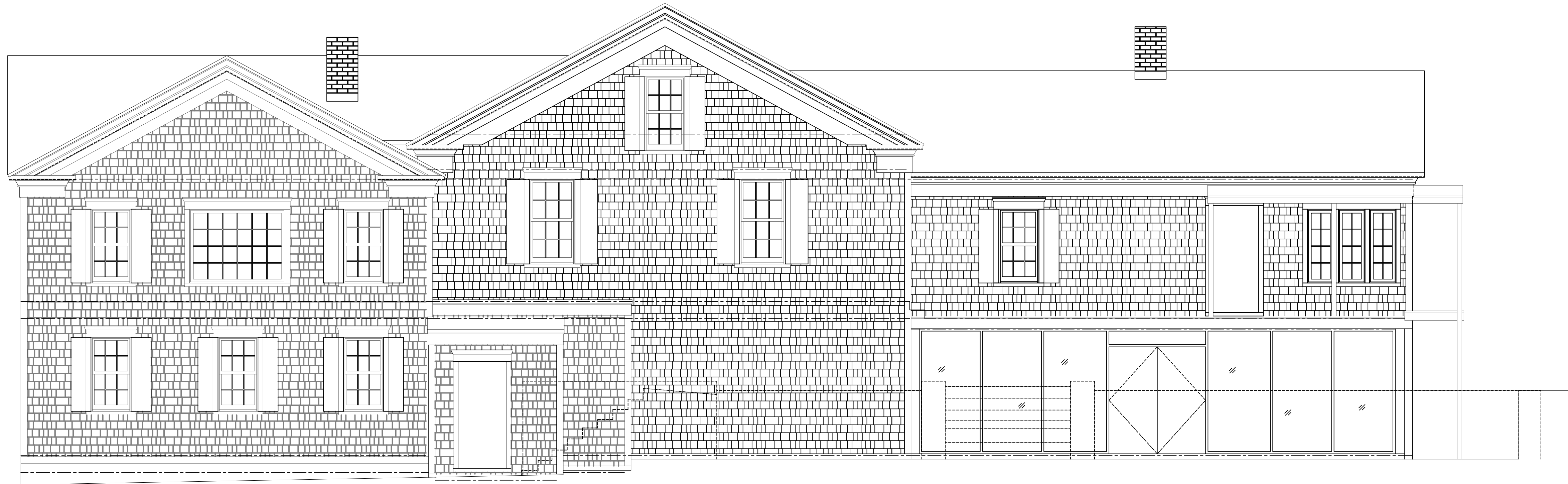
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A EXISTING EAST ELEVATION
1/4" = 1'-0"



B EXISTING WEST ELEVATION
1/4" = 1'-0"

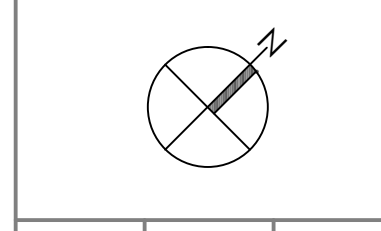
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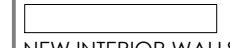
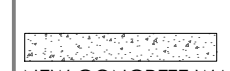

EXISTING EAST & WEST EXTERIOR ELEVATIONS

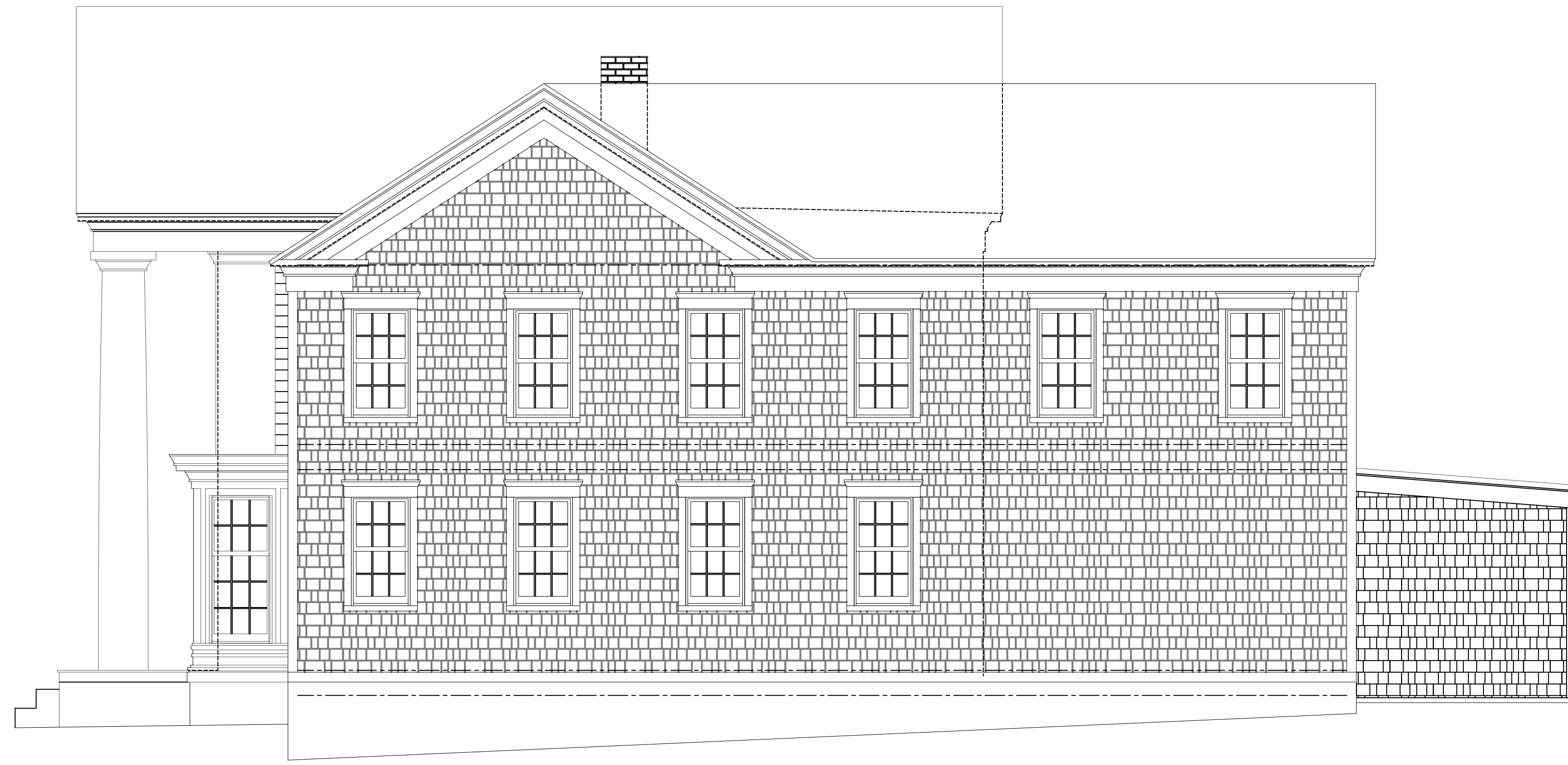
X201

GENERAL NOTES:

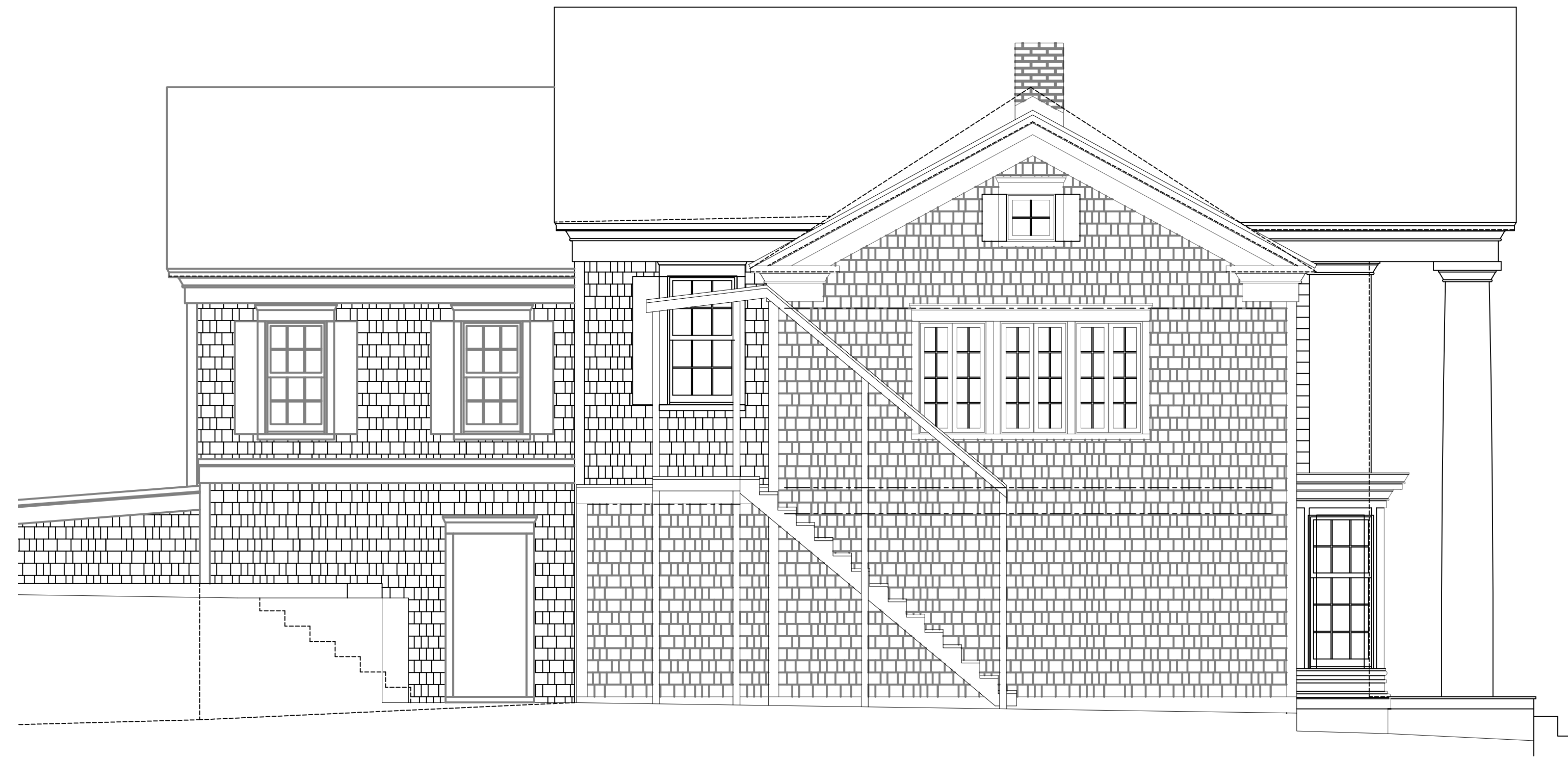
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C EXISTING NORTH ELEVATION
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D EXISTING SOUTH ELEVATION
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DATE:	12-08-2025
DRAWN BY:	E. DASILVA
CHECKED BY:	T. BOTERO

DRAWING SET:12-08-2025

REVISIONS

NOT FOR CONSTRUCTION

EXISTING NORTH & SOUTH EXTERIOR ELEVATIONS

X202

BOTERO
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TOMAS BOTERO
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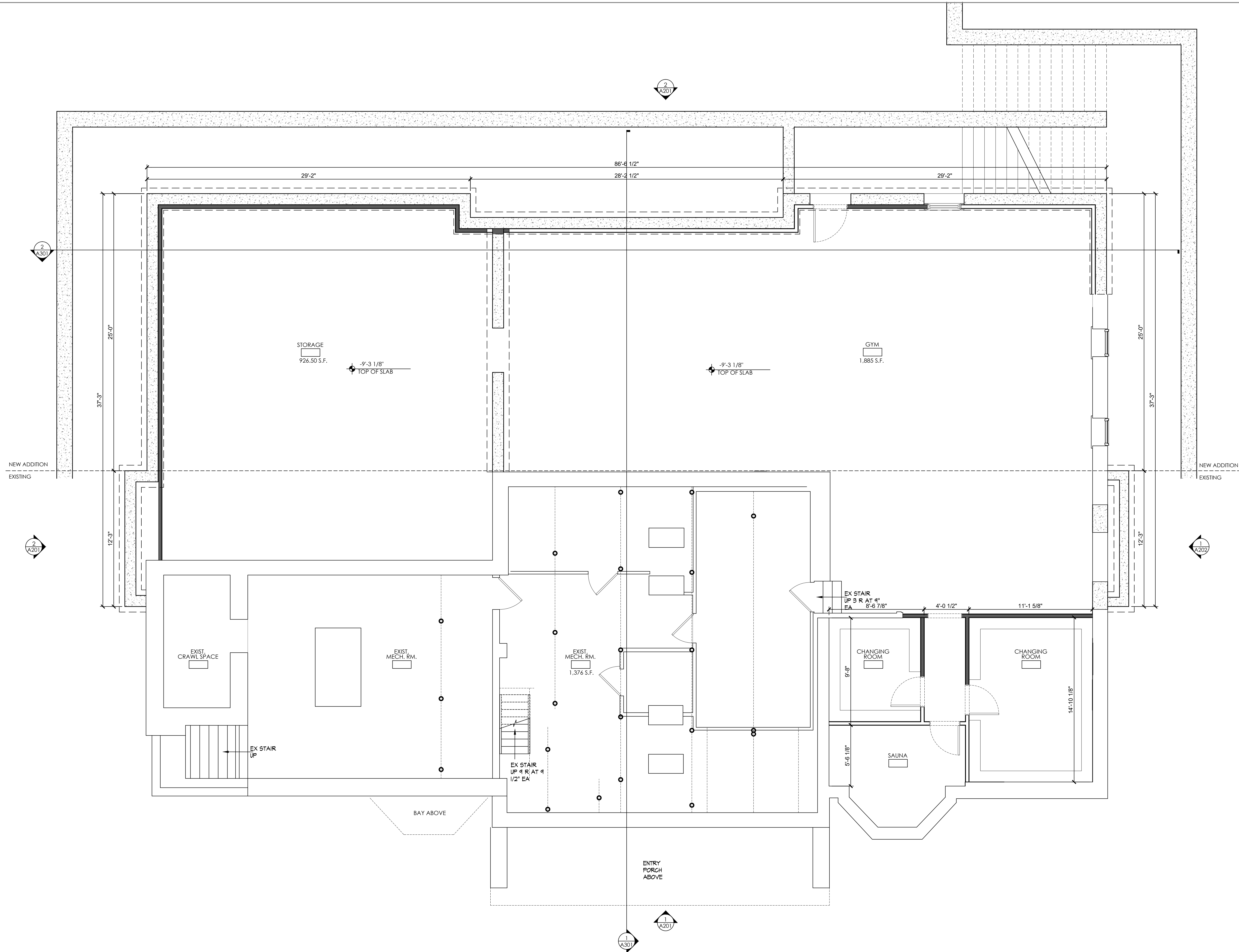
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LEGEND:

-  NEW EXTERIOR WALLS
-  NEW INTERIOR WALLS W/ ACOUSTIC INSULATION
-  NEW INTERIOR WALLS
-  NEW CONCRETE WALLS
-  EXISTING WALLS



1 BASEMENT FLOOR PLAN
1/4" = 1'-0"

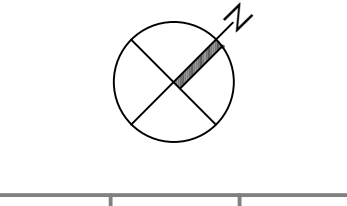
OWNERSHIP AND USE OF DOCUMENTS. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.

DESIGNER AND/OR ARCHITECT: EVA STUDIO DESIGN & BUILD
 DRAWN BY: E. DASILVA
 CHECKED BY: T. BOTERO
 DATE: 12-08-2025
 DRAWING SET: 12-08-2025
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BOTERO
 BUILD DESIGN / CONSTRUCTION GROUP
 TOMAS BOTERO
 TOMAS@BOTERODCG.COM

50 WEST APARTMENTS
 50 W POST ROAD, WESTPORT CT, 06880



DATE: 12-08-2025
 DRAWN BY: E. DASILVA
 CHECKED BY: T. BOTERO

NOT FOR CONSTRUCTION

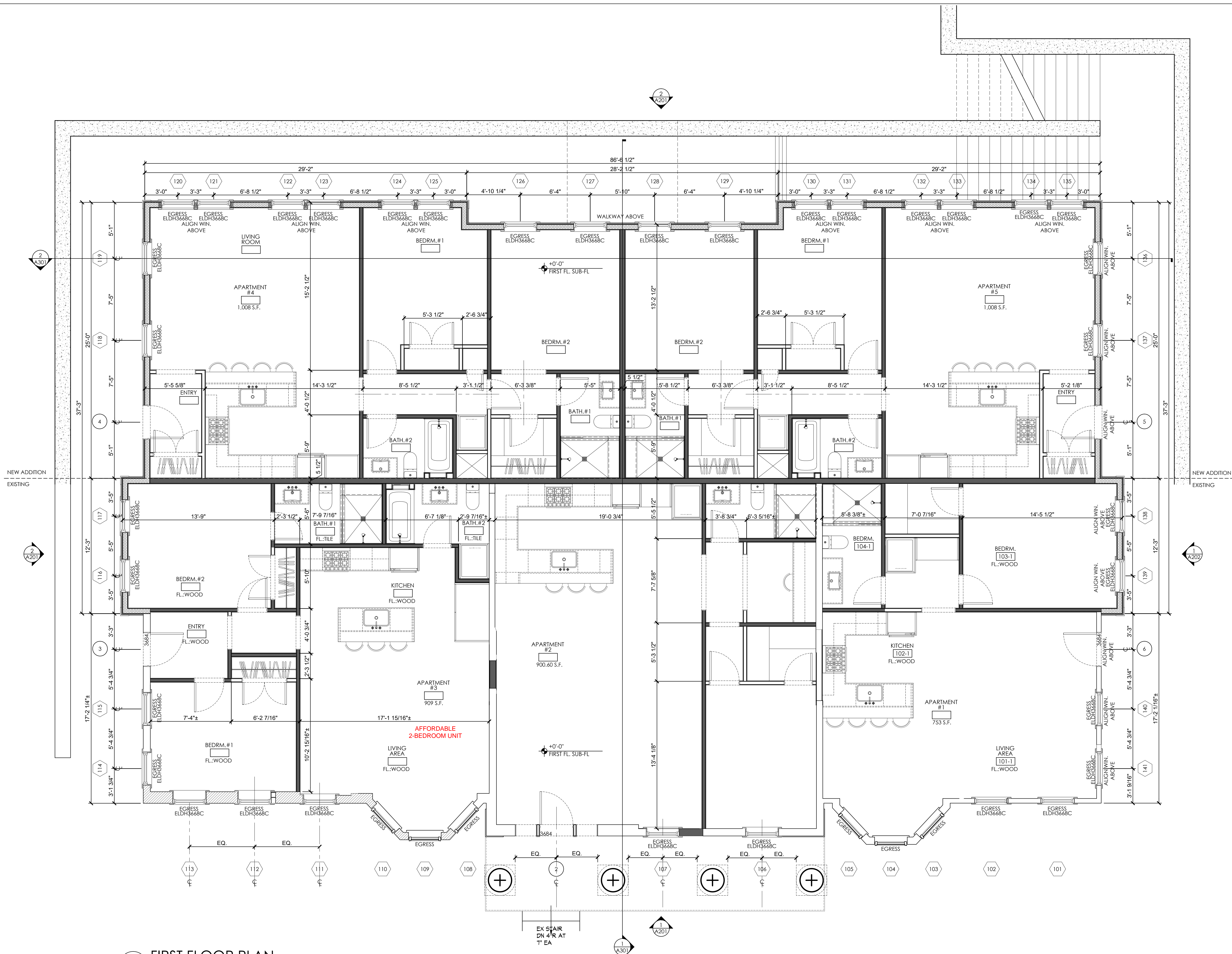
BASEMENT FLOOR PLAN

A101

GENERAL NOTES:

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- LEGEND:
- NEW EXTERIOR WALLS
 - NEW INTERIOR WALLS W/ ACOUSTIC INSULATION
 - NEW INTERIOR WALLS
 - NEW CONCRETE WALLS
 - EXISTING WALLS



1 FIRST FLOOR PLAN
1/4" = 1'-0"

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50 WEST APARTMENTS
50 W POST ROAD, WESTPORT CT, 06880

BOTERO
BUILT DESIGN / CONSTRUCTION GROUP

EVA STUDIO
DESIGN & BUILD

DATE: 12-08-2025
DRAWN BY: E. DASILVA
CHECKED BY: T. BOTERO

DRAWING SET:12-08-2025

FIRST FLOOR PLAN

A102

NOT FOR CONSTRUCTION

REVISIONS:

1 A201

2 A201

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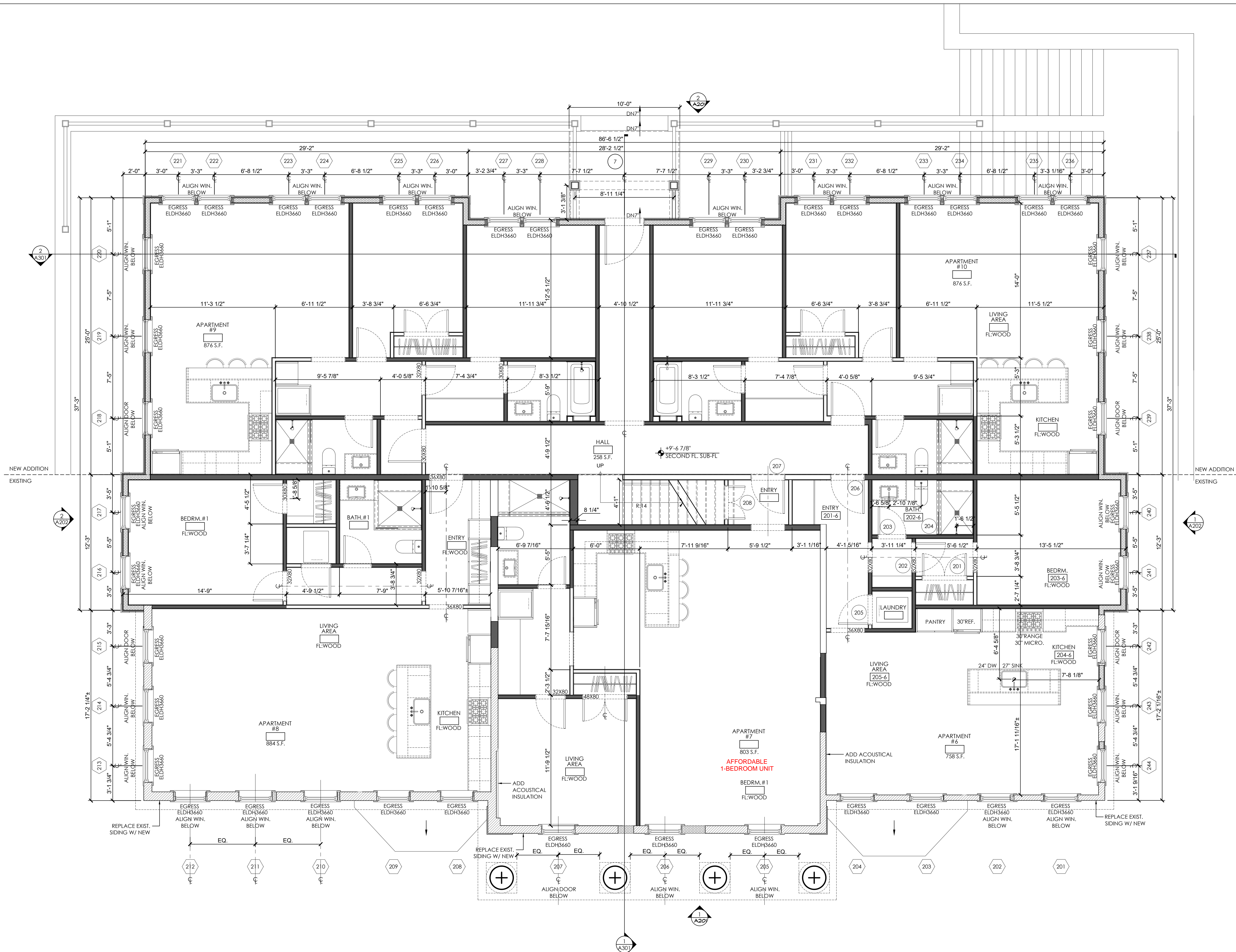
200 A201

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- NEW EXTERIOR WALLS
- NEW INTERIOR WALLS W/ ACOUSTIC INSULATION
- NEW INTERIOR WALLS
- NEW CONCRETE WALLS
- EXISTING WALLS



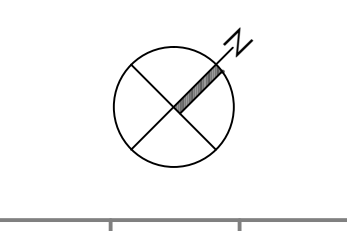
1 SECOND FLOOR PLAN
1/4" = 1'-0"

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50 W POST ROAD, WESTPORT CT, 06880



DATE: 12-08-2025
DRAWN BY: E. DASILVA
CHECKED BY: T. BOTERO

DRAWING SET:12-08-2025
NOT FOR CONSTRUCTION

REVISIONS:
SECOND FLOOR PLAN

A103

GENERAL NOTES:

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- EXTERIOR WALLS TO BE 2X6 @ 16" O.C. WITH 5/8" GWB IN THE INTERIOR FACE UNLESS OTHERWISE NOTED.

- CEDAR SHINGLES
- GALVALUME METAL ROOF; COLOR: BROWN
- EXT. TRIM BY SAW MOULDINGS; ALL EXT. TRIM TO BE MITERED
- 5/4X8 CORNER BD. BY CLAYMARK SOLID GOLD
- 5/4X4 CASING BY CLAYMARK SOLID GOLD
- EXT. TRIM BY SAW MOULDINGS; ALL EXT. TRIM TO BE MITERED
- REPAIR EXIST. TRIM & ROOF
- EXT. TRIM BY SAW MOULDINGS; ALL EXT. TRIM TO BE MITERED
- 5/4X4 CASING BY CLAYMARK SOLID GOLD
- 5" HALF ROUND ALUMINUM GUTTER & 3" DOWNSPOUT; COLOR: WHITE. DO NOT CONNECT GUTTER DRAINAGE TO FOOTING DRAIN.
- 6" EXPOSURE PLANK LAP SIDING BY HARDIE (SMOOTH)
- REPAIR EXIST. TRIM & ROOF
- 5/4X10 CORNER BD. BY CLAYMARK SOLID GOLD
- 5/4X10 SKIRT BD. BY CLAYMARK SOLID GOLD
- PARGE FOUNDATION



1 EAST ELEVATION
1/4" = 1'-0"

- +31'-2 1/4" TOP OF RIDGE
- +29'-0 3/4" TOP OF RIDGE
- HIGHEST EAVE
- +25'-6 5/8" TOP OF RIDGE
- +18'-10 3/4" THIRD FL. SUB-FL
- +9'-6 7/8" SECOND FL. SUB-FL
- +0'-0" FIRST FL. SUB-FL
- 47.5 AVERAGE GRADE
- 30'-10 5/16" FROM AVERAGE GRADE

- +31'-2 1/4" TOP OF RIDGE
- HIGHEST EAVE
- +18'-10 3/4" THIRD FL. SUB-FL
- +9'-6 7/8" SECOND FL. SUB-FL
- +0'-0" FIRST FL. SUB-FL
- 47.5 AVERAGE GRADE
- 9'-3 1/8" TOP OF SLAB



2 WEST ELEVATION
1/4" = 1'-0"

- CEDAR SHINGLES
- GALVALUME METAL ROOF; COLOR: BROWN
- EXT. TRIM BY SAW MOULDINGS; ALL EXT. TRIM TO BE MITERED
- 5/4X10 CORNER BD. BY CLAYMARK SOLID GOLD
- 5/4X4 CASING BY CLAYMARK SOLID GOLD
- 6" EXPOSURE PLANK LAP SIDING BY HARDIE (SMOOTH)
- GALVALUME METAL ROOF; COLOR: BROWN
- EXT. TRIM BY SAW MOULDINGS; ALL EXT. TRIM TO BE MITERED
- GALVALUME METAL ROOF; COLOR: BROWN
- EXT. TRIM BY SAW MOULDINGS; ALL EXT. TRIM TO BE MITERED
- 5/4X4 CASING BY CLAYMARK SOLID GOLD
- 5" HALF ROUND ALUMINUM GUTTER & 3" DOWNSPOUT; COLOR: WHITE. DO NOT CONNECT GUTTER DRAINAGE TO FOOTING DRAIN.
- 10" COULM BY CLAYMARK SOLID GOLD GUARDRAIL TO COMPLY W/ STATE & LOCAL CODES
- COMPOSITE DECKING; COLOR: T.B.D.
- 5/4X10 CORNER BD. BY CLAYMARK SOLID GOLD
- 5/4X10 SKIRT BD. BY CLAYMARK SOLID GOLD
- PARGE FOUNDATION

- LEGEND:
- NEW EXTERIOR WALLS
 - NEW INTERIOR WALLS W/ ACOUSTIC INSULATION
 - NEW INTERIOR WALLS
 - NEW CONCRETE WALLS
 - EXISTING WALLS

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50 WEST APARTMENTS
50 W POST ROAD, WESTPORT CT, 06880

BOTERO
BUILT DESIGN / CONSTRUCTION GROUP

EVA STUDIO
DESIGN & BUILD

DATE: 12-08-2025
DRAWN BY: E. DASILVA
CHECKED BY: T. BOTERO

NOT FOR CONSTRUCTION

EAST & WEST EXTERIOR ELEVATIONS

A201

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TOMAS BOTERO
TOMAS@BOTERODC.COM

GENERAL NOTES:

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 - NEW INTERIOR WALLS
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 - EXISTING WALLS



1 NORTH ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

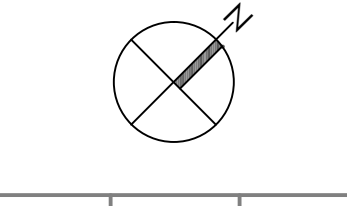
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IDEAS BY AND HOLD HARMLESS: THE ARCHITECT, DESIGNER, AND PROJECT MANAGER, THEIR AGENTS, AND EMPLOYEES, FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF PERFORMANCE OF THE WORK, WHICH ARE (1) FOR BODILY INJURY, ILLNESS, OR DEATH, OR FOR PROPERTY DAMAGE, INCLUDING LOSS OF USE, AND (2) FOR ECONOMIC LOSS, ARISING OUT OF PERFORMANCE OF THE WORK, WHICH ARE NOT APPLICABLE TO LIABILITY OF THE DESIGNER AND PROJECT MANAGER, OR THAT OF THE DESIGNER'S OR PROJECT MANAGER'S AGENTS OR EMPLOYEES, ARISING OUT OF THE PREPARATION OR APPROVAL OF REPORTS, OPINIONS, SURVEYS, MAPS, DRAWINGS, DESIGN, OR SPECIFICATIONS.

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50 W POST ROAD, WESTPORT CT, 06880



DATE: 12-08-2025
DRAWN BY: E. DASILVA
CHECKED BY: T. BOTERO

DRAWING SET: 12-08-2025
REVISIONS:
NOT FOR CONSTRUCTION

NORTH & SOUTH EXTERIOR ELEVATIONS

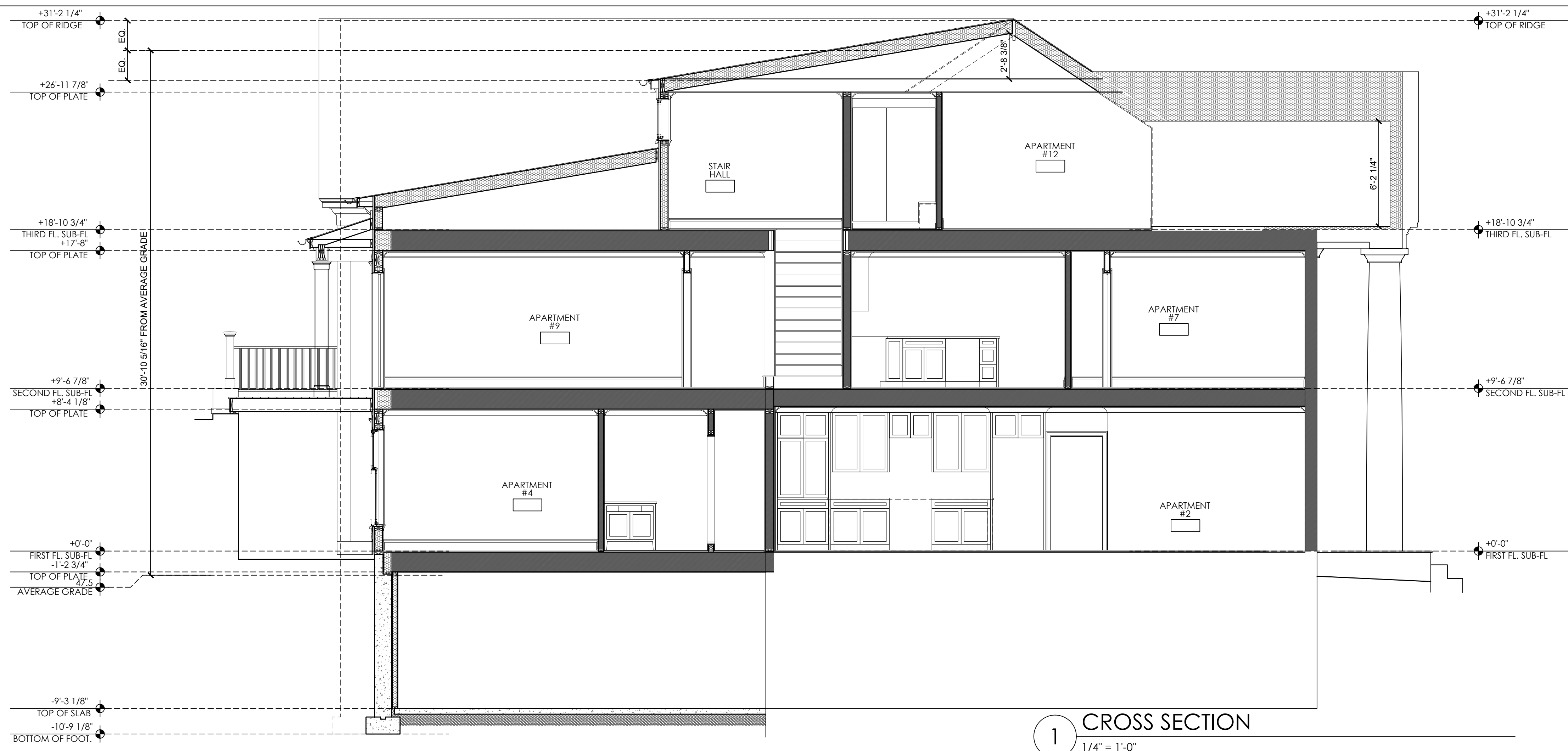
A202

GENERAL NOTES:

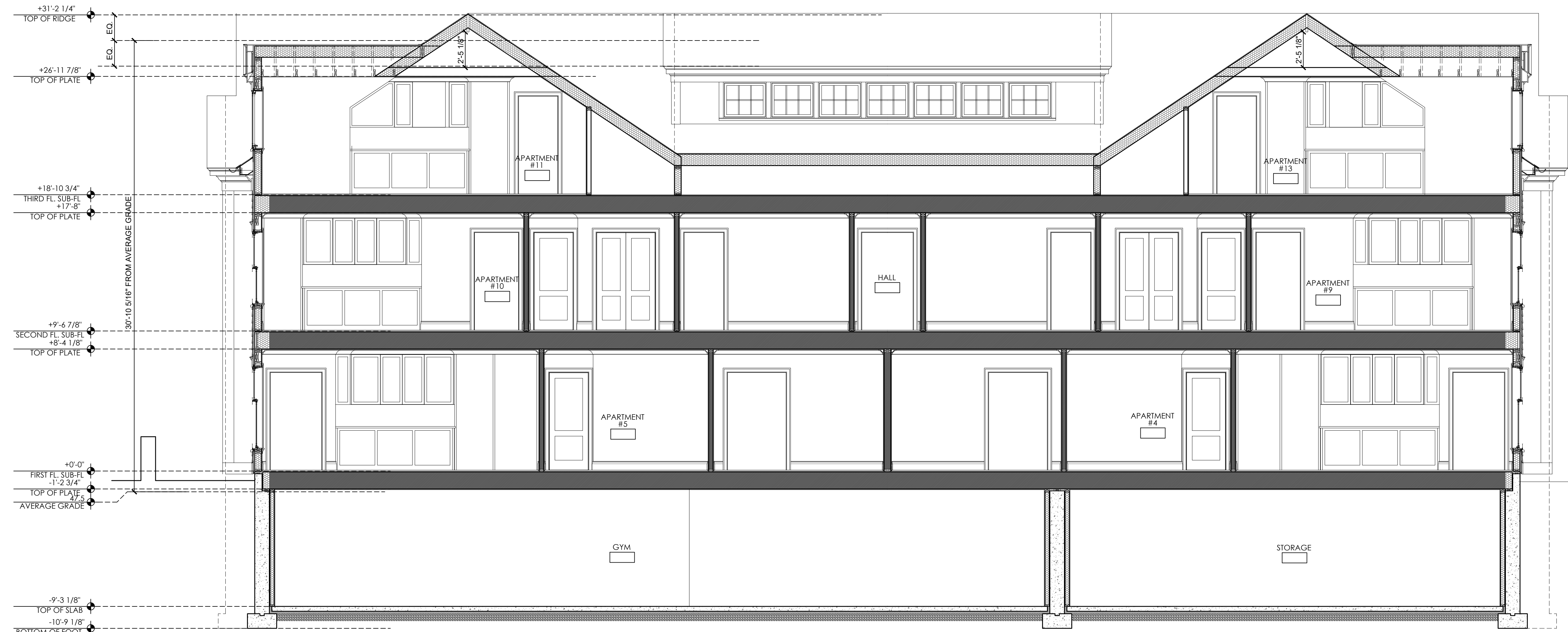
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- NEW INTERIOR WALLS W/ ACOUSTIC INSULATION
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1 CROSS SECTION
1/4" = 1'-0"



2 LONGITUDINAL SECTION
1/4" = 1'-0"

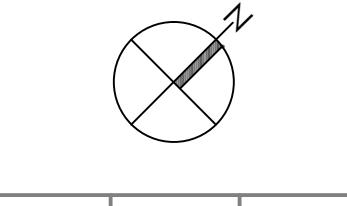
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TOMAS BOTERO
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50 WEST APARTMENTS
50 W POST ROAD, WESTPORT CT, 06880



DATE: 12-08-2025
DRAWN BY: E. DASILVA
CHECKED BY: T. BOTERO

DRAWING SET:12-08-2025
REVISIONS
NOT FOR CONSTRUCTION

BUILDING SECTIONS

A301